

MANASQUAN PLANNING BOARD MEETING AGENDA

APRIL 18, 2023 4:00 PM – TUESDAY

Please take notice that the Manasquan Planning Board will convene an in person meeting on April 18, 2023 4:00 PM at Borough Hall, Second Floor, 201 East Main Street, Manasquan, New Jersey. As a courtesy to the public this meeting may be attended via zoom. If the zoom meeting fails or gets disconnected the in-person meeting will continue without the zoom participants. You can access the meeting through the Zoom App by following the link below for your computer or phone.

Join Zoom Meeting

<https://us06web.zoom.us/j/8243299920?pwd=QUxNUjlGbkNLQS9TRVBIWHVtbUd3Zz09>

OR

Tel – 1-646 876 9923 US (New York)

Meeting ID: 824 329 9920

Passcode: 365120

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

APPLICATION

1. #01-2023 North Potter Partners, LLC - 66 North Potter Avenue - Block 162 Lot 1 & 2 (carried from 3/7/2023)
2. #03-2023 Eugene & Valier Hannafey - 10 Minnesink Road - Block 16 Lot 5

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

JAN 24 2023

DPW _____ CONST _____
PD _____ OTHER _____

January 20, 2023

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1990
Major Subdivision – North Potter Partners, LLC
Block 162, Lots 1 & 2
66 North Potter Avenue
R-2 - Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Preliminary and Final Major Subdivision Plan, prepared by Elizabeth Waterbury, PE, PP, of E.M. Waterbury & Associates, P.A., dated October 5, 2022, last revised December 29, 2022.
2. Major Subdivision Plat, prepared by Paul Lynch, PLS, dated December 9, 2022.
3. Topographic Survey, prepared by Paul Lynch, PLS, dated April 4, 2022.
4. Lot Frontage averaging report, prepared by Paul Lynch, PLS, dated November 2, 2022.

Existing Lot 1 contains 14,905 square feet with frontage on North Potter Avenue and Ocean Avenue and Existing Lot 2 contains 12,090 square feet with frontage on Ocean Avenue. Both lots are located in the R-2 - Residential Zone. With this application, the applicant intends to create three lots, proposed Lot 1.02, containing 5,631 square feet with frontage on North Potter Avenue and Ocean Avenue, proposed lot 1.03 containing 9,274 square feet with frontage on North Potter Avenue, and proposed Lot 2.02 containing 12,090 square feet with frontage on Ocean Avenue. The application is deemed complete as of January 20, 2023.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 - Residential Zone, where the proposed residential lots are permitted.

Re: Boro File No. MSPB-R1990
Major Subdivision – North Potter Partners, LLC
Block 162, Lots 1,2

January 20, 2023
Sheet 2

2. The following bulk ('c') variance is required as part of this application:
 - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 5 feet is proposed for Lot 1.03.
3. The major subdivision plans show what appears to be conceptual layouts for potential dwelling sizes on the proposed lots. The dwelling on proposed Lot 1.03 requires a rear yard setback variance with the proposed configuration as indicated above. As the building layouts are conceptual, plot plans including the exact building layout, grading, and drainage recharge systems for each of the individual lots, will be required.
4. The applicant's surveyor has submitted a setback averaging calculations for the front yard setback for proposed Lot 1.03 which decreases the required setback to 15.5 feet. The applicant proposes a 15.5' front setback on Lot 1.03 and thus a variance for the normally required 25' setback is not required for the proposed layout.
5. The applicant's engineer should be prepared to explain the limits of existing Lots 1.01 and 2.01 at the rear of the existing properties and the intent for these lots with the subdivision as they partially extend beyond the waterline. It appears these lots should be consolidated with proposed Lots 1.03 and 2.02 as they are landlocked and non-conforming.
6. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required.
7. The plans indicate that all existing improvements will be removed as part of the application. I suggest that all structures be removed prior to the perfection of the subdivision, otherwise additional variances would be required.
8. The property is located within two flood zones (AE 9 and AE 10). The proposed dwellings must meet the BFE of the zone in which they are located.
9. As this is technically a major subdivision, the subdivision must be filed by map and not by deed. There are a number of items which must be added to the plan, including the benchmark, centerline and right-of-way half width for North Potter Avenue and Ocean Avenue, all necessary certifications, and coordinate points, for the plan to meet the requirements of the New Jersey Title Recordation Act (Map Filing Law). All necessary items must be added to the plan prior to submission for signing of the final plat.
10. Monuments must be set at the intersection of the proposed lot lines and the right-of-way lines and shown on the subdivision plat. I suggest all proposed monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If it is proposed to be set after the signing of the subdivision plat, a bond must be posted with the Borough.
11. All applicable road opening permits from the Borough and must be obtained for the new utility connections, proposed curb and driveway aprons. The limits of pavement repair for the proposed curb and utility connections should be shown on the plan.




Re: Boro File No. MSPB-R1990
Major Subdivision – North Potter Partners, LLC
Block 162, Lots 1,2

January 20, 2023
Sheet 3

12. The proposed lot numbers should be reviewed and approved by the tax office.
13. Any trees to be removed as part of the application should be indicated on the plan.
14. All applicable outside approvals must be obtained by the applicant. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board
 - b. NJDEP – LOI/FHA

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Elizabeth Waterbury, PE, PP
E.M. Waterbury & Associates, 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739
North Potter Partners
207 Ludlow Avenue, Spring Lake, NJ 07762

March 10, 2023

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

MAR 13 2023

DPW _____ CONST _____
PD _____ OTHER _____

Re: Boro File No. MSPB-R1990
Major Subdivision – North Potter Partners, LLC
Block 162, Lots 1 & 2
66 North Potter Avenue
R-2 - Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced revised application submission in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

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The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 - Residential Zone, where the proposed residential lots are permitted.

Re: Boro File No. MSPB-R1990
Major Subdivision – North Potter Partners, LLC
Block 162, Lots 1,2

March 10, 2023
Sheet 2

2. The following bulk ('c') variance is required as part of this application:
 - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 5 feet is proposed for Lot 1.03.
 - b. A maximum building height of 33 feet is permitted for proposed Lot 1.03, whereas a building height of 36'2" is proposed.
3. The major subdivision plans show what appears to be conceptual layouts for potential dwelling sizes on the proposed lots. The dwelling on proposed Lot 1.03 requires a rear yard setback variance with the proposed configuration as indicated above. As the building layouts are conceptual, plot plans including the exact building layout, grading, and drainage recharge systems for each of the individual lots, will be required.
4. The applicant's surveyor has submitted a setback averaging calculations for the front yard setback for proposed Lot 1.03 which decreases the required setback to 15.5 feet. The applicant proposes a 15.5' front setback on Lot 1.03 and thus a variance for the normally required 25' setback is not required for the proposed layout.
5. The applicant's engineer has clarified and confirmed that existing Lots 1.01 and 2.01 at the rear of the existing properties are riparian lots and are not to be directly affected by the subdivision. They are intended to remain connected to their respective landward lots.
6. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required.
7. The plans indicate that all existing improvements will be removed as part of the application. I suggest that all structures be removed prior to the perfection of the subdivision, otherwise additional variances would be required.
8. The property is located within two flood zones (AE 9 and AE 10). The proposed dwellings must meet the BFE of the zone in which they are located.
9. As this is technically a major subdivision, the subdivision must be filed by map and not by deed. There are a number of items which must be added to the plan, including the benchmark, centerline and right-of-way half width for North Potter Avenue and Ocean Avenue, all necessary certifications, and coordinate points, for the plan to meet the requirements of the New Jersey Title Recordation Act (Map Filing Law). All necessary items must be added to the plan prior to submission for signing of the final plat.
10. Monuments must be set at the intersection of the proposed lot lines and the right-of-way lines and shown on the subdivision plat. I suggest all proposed monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If it is proposed to be set after the signing of the subdivision plat, a bond must be posted with the Borough.
11. Addressed. All applicable road opening permits from the Borough and must be obtained for the new utility connections, proposed curb and driveway aprons. The



Re: Boro File No. MSPB-R1990
Major Subdivision – North Potter Partners, LLC
Block 162, Lots 1,2


March 10, 2023
Sheet 3

plans have been revised to show the limits of pavement repair for the proposed curb and utility connections.

12. Addressed. The proposed lot numbers have been reviewed and approved by the tax office.
13. Any trees to be removed as part of the application should be indicated on the plan.
14. All applicable outside approvals must be obtained by the applicant. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board
 - b. NJDEP – LOI/FHA

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Elizabeth Waterbury, PE, PP
E.M. Waterbury & Associates, 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739
North Potter Partners
207 Ludlow Avenue, Spring Lake, NJ 07762

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: North Potter Partners, LLC

*Applicant's Address: 207 Ludlow Ave, Spring Lake, NJ 07762

*Telephone Number: Home: N/A Cell: 908-308-4325 (732-221-4863)

*e-mail Address: garyciliberto@gmail.com

*Property Location: 66 North Potter

*Block: 162 Lot: 1,2

*Type of Application: Major

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

*Date of Zoning Officer's Denial Letter: October 13, 2022

Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? Yes

*Does the Applicant own any adjoining land? No

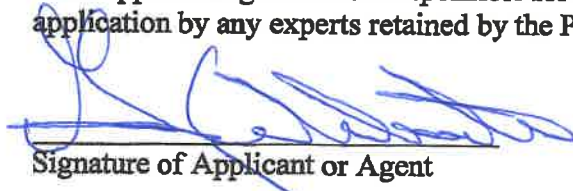
*Are the property taxes paid to date? Yes

*Have there been any previous applications to the Planning Board concerning this property? No
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this property? No

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.



Signature of Applicant or Agent

12-15-2022

Date

06/2021

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

October 13, 2022

North Potter Partners, LLC
207 Ludlow Avenue
Spring Lake, NJ 07762

Re: Block: 162 Lots: 1,2 Zone: R-2
66 North Potter Avenue

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Subdivide Block 162, Lots 1&2 into three fully conforming lots in the R-2 Zone.
(Proposed Lot 1.02 – 5,500s.f.) (Proposed Lot 1.03 – 9,800s.f.) (Proposed Lot 2-
12,000s.f.)

Construct a single family dwelling on each of the proposed lots.

Minor subdivision plot plan prepared by Elizabeth Waterbury on October 5, 2022.

Application denied for the following reason(s):

Section 32.8.1 – Requires Planning Board approval for the proposed subdivision.

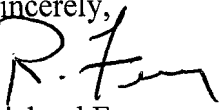
Proposed Lot 1.03:

Section 35-9.4 – Front Setback – 25ft. Required
15ft. Proposed

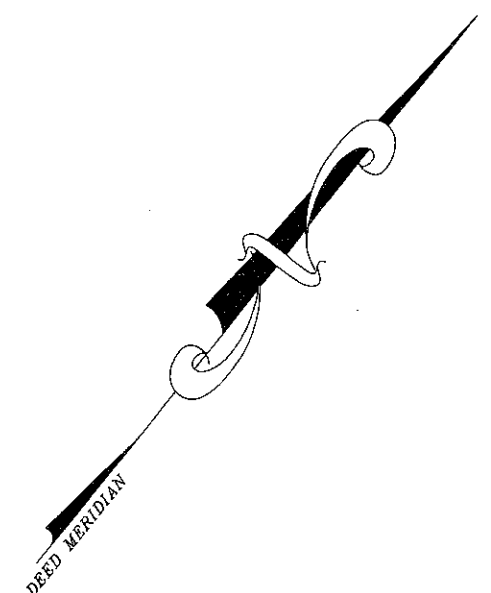
“ - Rear Setback – 20ft. Required
5ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

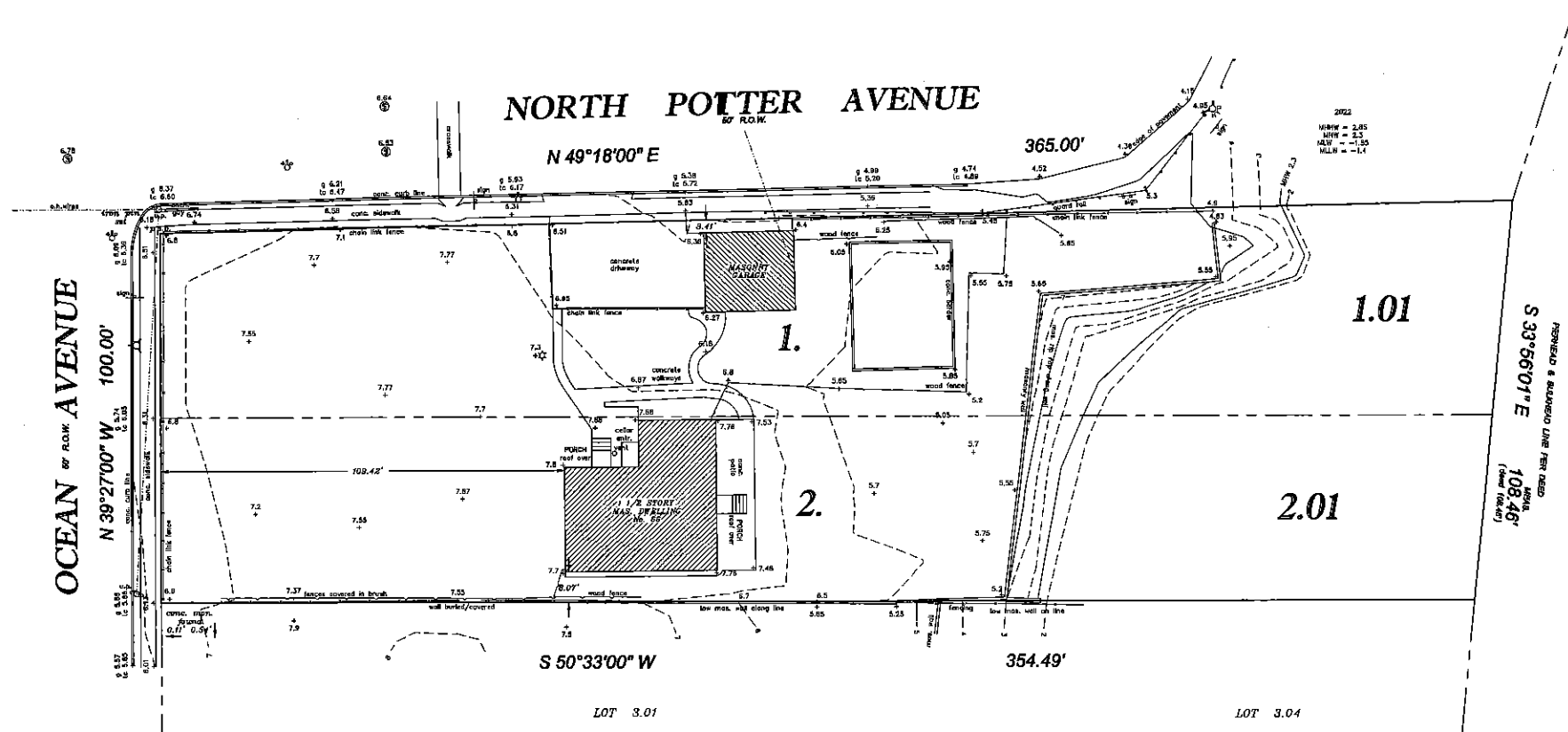
Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large initial "R" and a long horizontal stroke extending to the right.

Richard Furey
Zoning/Code Enforcement Officer



THE LOTS AND PREMISES SURVEYED AND SHOWN HEREON ARE KNOWN AND DESIGNATED AS LOT 1 & 2 BLOCK 162 AS SAID LOTS ARE SHOWN ON A CERTAIN MAP ENTITLED "MAP OF THE ESTATE OF E.H. JACKSON, Dec 2, SITUATE IN THE BOROUGH OF MANASQUAN MONMOUTH CO. N.J." MADE BY WILLIAM SECOINE SURVEYOR POINT PLEASANT, N.J. DATED JULY 1889 AND FILED IN THE OFFICE OF THE COUNTY CLERK ON JUNE 25, 1890 IN CASE 71 SHEET 16. (INCLUDING RIPARIAN GRANT PER RECORD DEED)

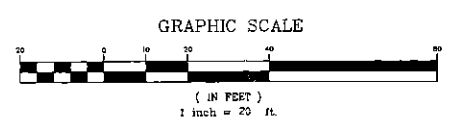


*** BLOCK 162 ***

CERTIFIED TO:
MANASQUAN BANK ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR

THE ELEVATIONS & CONTOURS SHOWN HEREON ARE REFERENCED TO N.A.S.D. 1988
TOTAL TRACT AREA SURVEYED IS 37,381 s.f. (25,995 s.f. uplands/10,386 s.f. riparian)
EASEMENTS OF RECORD, ENVIRONMENTALLY SENSITIVE AREAS & NJDEP TIDELANDS CLAIMLINE ARE NOT LOCATED HEREON.

ANY OBJECT BENEATH AND NOT VISIBLE ON THE SURFACE OF THE BARTH OF THE LOT AND PREMISES SURVEYED AND SHOWN HEREON HAS NOT BEEN LOCATED.

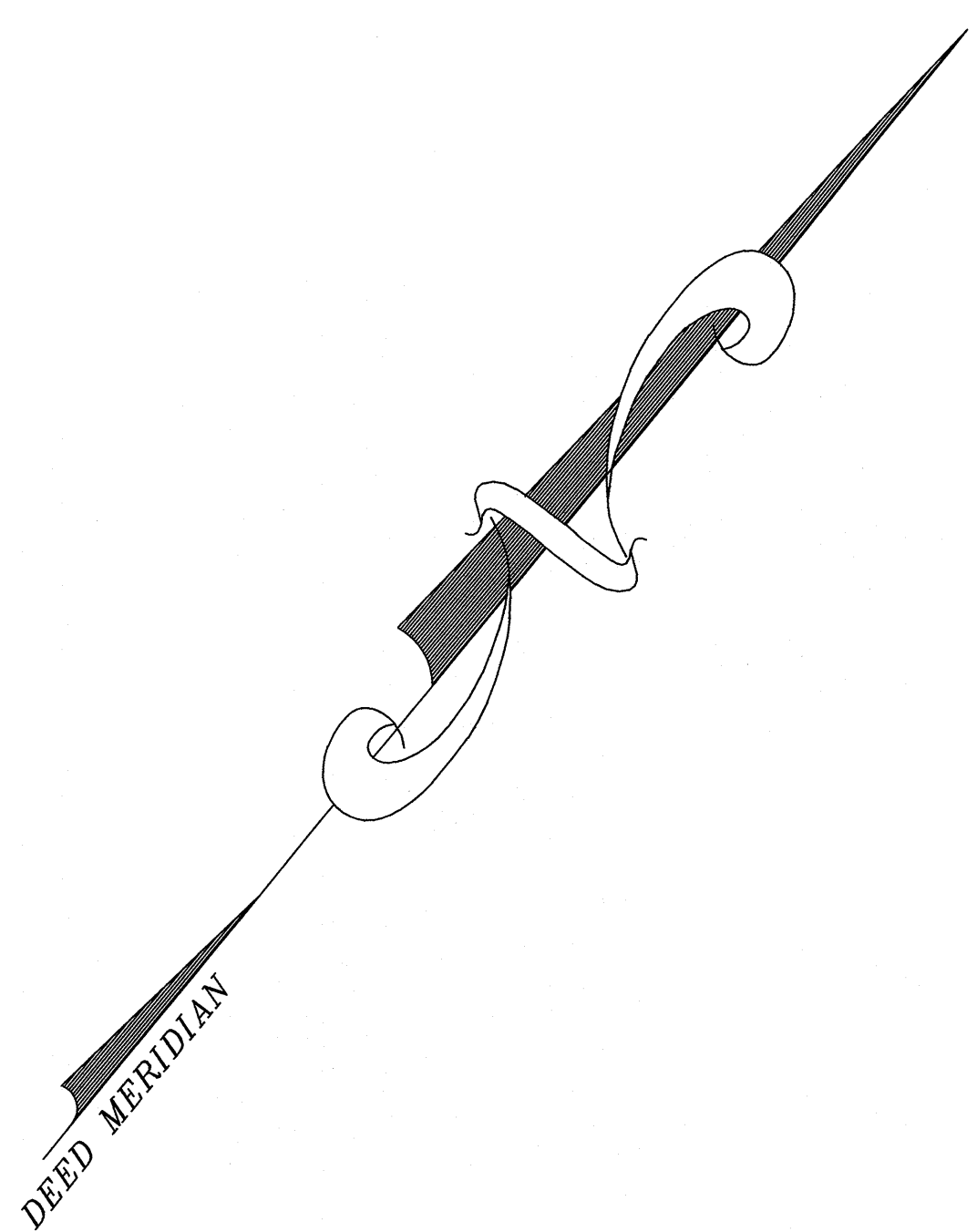


TOPOGRAPHIC SURVEY
FOR
NORTH POTTER PARTNERS LLC
SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY
KNOWN AND DESIGNATED AS LOT 1, 1.01, 2 & 2.01 BLOCK 162 AS SHOWN ON THE
TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

PAUL K. LYNCH
LAND SURVEYOR & BOUNDARY CONSULTANT
P.O. BOX 1459 WALL, N.J. 07719 (732) 661-4038 PKLYNCH@GMAIL.COM

NEW JERSEY PROFESSIONAL LAND SURVEYOR
LICENSE No. 35855

Date: 4-04-22
Scale: 1" = 20'
FB: 116018
File: 87032162-1
Drawing: D49157

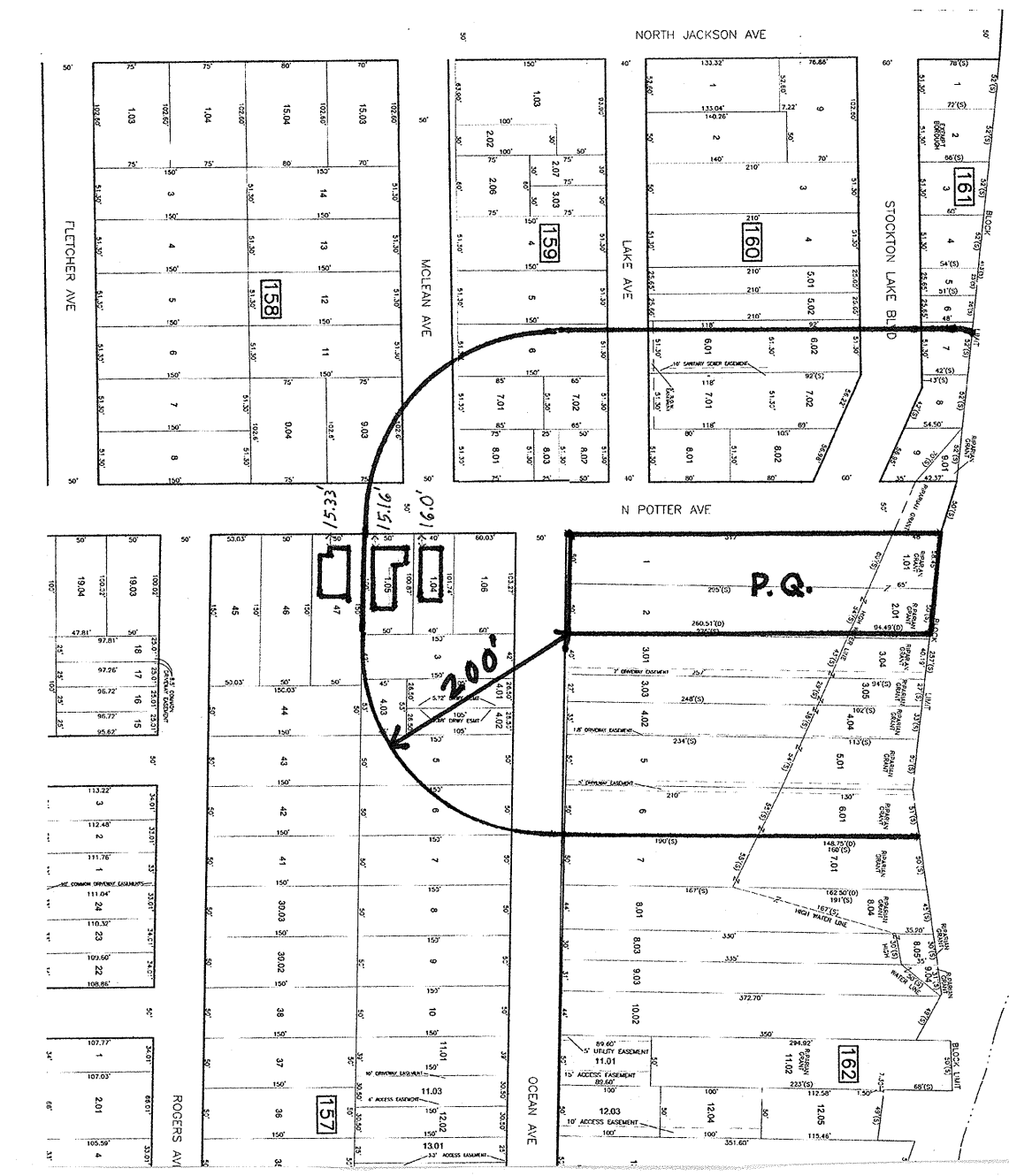


THE LOTS AND PREMISES SURVEYED AND SHOWN HEREON ARE KNOWN AND DESIGNATED AS LOT 1 & 2 BLOCK 9 AS SAID LOTS ARE SHOWN ON A CERTAIN MAP ENTITLED "MAP OF THE ESTATE OF E.H. JACKSON, Dec'd, SITUATE IN THE BOROUGH OF MANASQUAN MONMOUTH CO. N.J." MADE BY WILLIAM SECORNE SURVEYOR POINT PLEASANT, N.J. DATED JULY 1889 AND FILED IN THE OFFICE OF THE COUNTY CLERK ON JUNE 25, 1890 IN CASE 71 SHEET 16. (INCLUDING RIPARIAN GRANT PER RECORD DEED)

R-2 ONE FAMILY RESIDENTIAL ZONING

	REQUIRED	PROVIDED LOT 1.02	PROVIDED LOT 1.03	PROVIDED LOT 2.02
MINIMUM LOT AREA s.f.	5000	5631	9274	12090
MINIMUM LOT FRONTAGE ft.	50	50	192.92	50
MINIMUM FRONT YARD ft.	25	25	15 *	25
MINIMUM SIDE YARD ft.	5	5	5	5
MINIMUM REAR YARD ft.	20	20	5 *	>20
MAXIMUM BLDG HEIGHT ft./story	38.25	38.25	36.17 * 2.5	38.25
MAXIMUM BLDG COVERAGE %	30	30	30	30
MAXIMUM LOT COVERAGE %	45	45	45	45

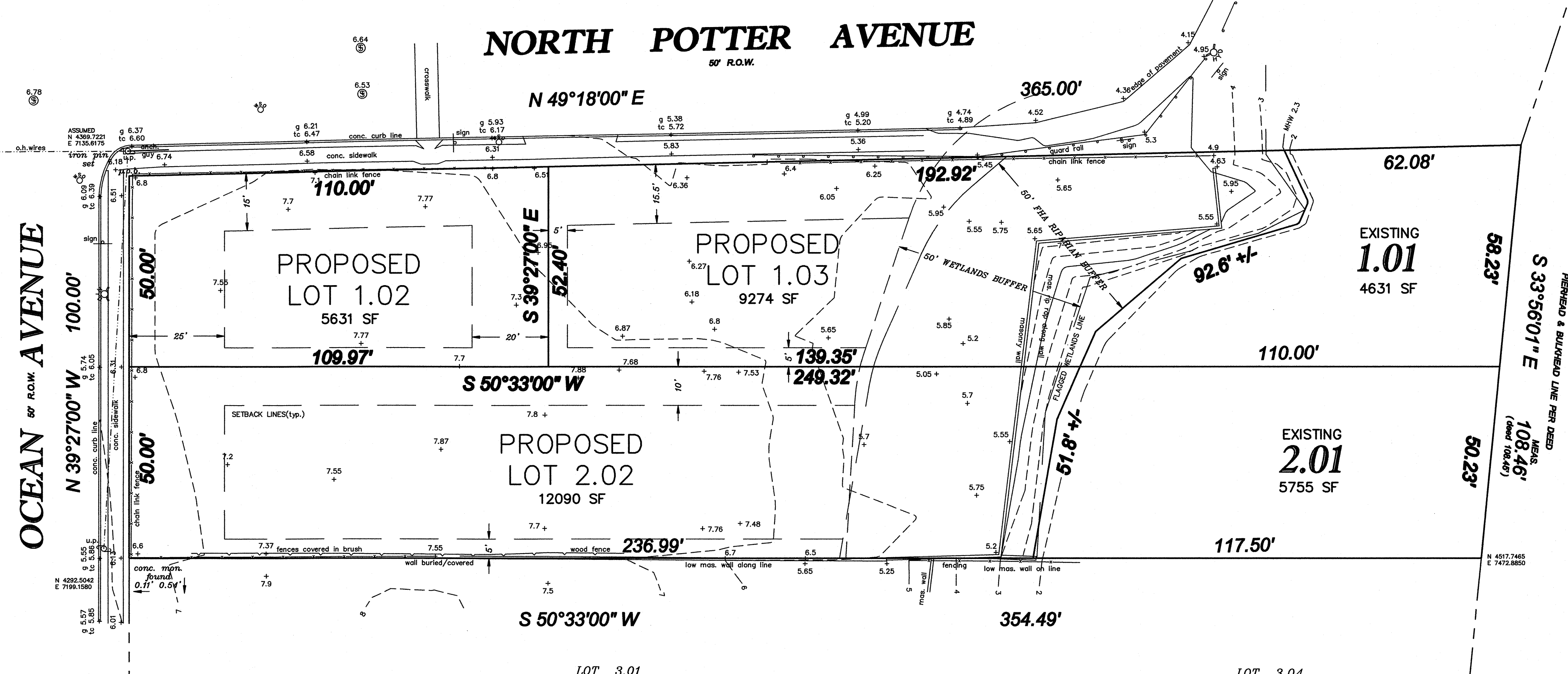
* variance



AREA MAP
1" = 175'

PROPERTY OWNERS WITHIN 200'

BLOCK	LOT	OWNER	PROPERTY LOCATION	ACRES
152	1.01
152	1.02
152	1.03
152	1.04
152	1.05
152	1.06
152	1.07
152	1.08
152	1.09
152	1.10
152	1.11
152	1.12
152	1.13
152	1.14
152	1.15
152	1.16
152	1.17
152	1.18
152	1.19
152	1.20
152	1.21
152	1.22
152	1.23
152	1.24
152	1.25
152	1.26
152	1.27
152	1.28
152	1.29
152	1.30
152	1.31
152	1.32
152	1.33
152	1.34
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152	1.86
152	1.87
152	1.88
152	1.89
152	1.90
152	1.91
152	1.92
152	1.93
152	1.94
152	1.95
152	1.96
152	1.97
152	1.98
152	1.99
152	2.00



***** BLOCK 162 *****

CLASSIFIED AND APPROVED AS A MAJOR SUBDIVISION BY THE PLANNING BOARD OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

THIS _____ DAY OF _____ 20__

CHAIRPERSON _____

SECRETARY _____

BOARD ENGINEER _____

THIS PLAT MUST BE FILED IN THE OFFICE OF THE COUNTY CLERK ON OR BEFORE _____

WHICH DATE IS 95 DAYS FROM THE DATE OF FINAL APPROVAL AS A MAJOR SUBDIVISION.

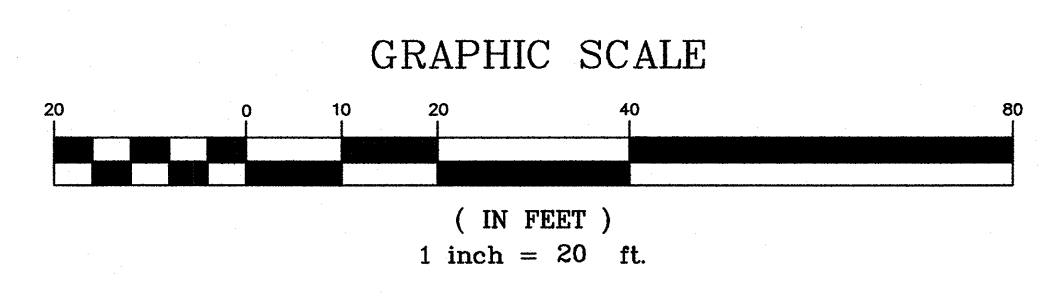
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 04/22 MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS AS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW" AND THAT THE OUTBOUND MONUMENTS AS SHOWN HAVE BEEN FOUND OR SET. SURVEY PRECISION GREATER THAN 1:10,000.

Paul K. Lynch
PAUL K. LYNCH LICENSED PROFESSIONAL LAND SURVEYOR 35855 12-09-22 DATE

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW" RESOLUTION OF APPROVAL AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

MUNICIPAL ENGINEER _____ DATE _____

- NOTES:
- 1) THE PROPERTY IN QUESTION IS SHOWN ON TAX MAP SHEET 25.
 - 2) TOTAL TRACT AREA OF PROPOSED SUBDIVISION IS 0.858 AC.
 - 3) THE APPLICANT IS NORTH POTTER PARTNERS LLC 66 NORTH POTTER AVE. MANASQUAN, N.J. 08736
 - 4) THE RECORD OWNER IS NORTH POTTER PARTNERS LLC 66 NORTH POTTER AVE. MANASQUAN, N.J. 08736
 - 5) THE PROPERTY IN QUESTION IS LOCATED IN THE R-2 ONE FAMILY RESIDENTIAL ZONE.
 - 6) EACH LOT TO BE SERVICED BY SEPARATE WATER & SEWER LINES
 - 7) THE ELEVATIONS & CONTOURS SHOWN HEREON ARE REFERENCED TO N.A.V.D. 1988
 - 8) TRACT IS LOCATED IN ZONE AR(BFE-9) & AR(BFE-10) PER FIRM 34025C04560 DATED 1-31-2014



THE UNDERSIGNED DULY ORGANIZED COMPANY HEREBY DECLARES THAT IT IS THE OWNER OF THE LANDS DELINEATED HEREON AND HEREBY CONSENTS TO THE FILING OF THIS MAP IN THE MONMOUTH COUNTY CLERK'S OFFICE.

NORTH POTTER PARTNERS LLC DATE _____ ADDRESS _____

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____ BEFORE ME, A NOTARY PUBLIC OF NEW JERSEY,

PERSONALLY APPEARED _____ WHO I AM SATISFIED IS THE PERSON WHO HAS SIGNED THE ABOVE CONSENT.

NOTARY PUBLIC OF NEW JERSEY _____

MAJOR SUBDIVISION
FOR
NORTH POTTER PARTNERS LLC

SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS LOT 1, 1.01, 2 & 2.01 BLOCK 162 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

PAUL K. LYNCH
LAND SURVEYOR, BOUNDARY CONSULTANT
P.O. BOX 1489 WALL, N.J. 07719 (732) 651-4038 PKLYNCH18@GMAIL.COM

Paul K. Lynch
NEW JERSEY PROFESSIONAL LAND SURVEYOR
LICENSE No. 35855

Date: 12-09-22
Scale: 1" = 20'
FB: 116018
File: 571022162-1
Drawing: D491.157

530 PROSPECT AVENUE, SUITE 2C
LITTLE SILVER, NEW JERSEY, 07739
PHONE (732)747-6530 • FAX (732)747-6778
OFFICE EMAIL: EMWASSOC@AOL.COM



PRINCIPALS OF FIRM ARE MEMBERS OF:
SOCIETY OF PROFESSIONAL ENGINEERS
SOCIETY OF MUNICIPAL ENGINEERS
PROFESSIONAL WOMEN NETWORK

E. M. WATERBURY & ASSOCIATES, P.A.
ENGINEERING • PLANNING • LAND USE & DEVELOPMENT

February 24, 2023

Manasquan Borough Planning Board
c/o Ms. Barbara Ilaria, Board Secretary
201 East Main Street
Manasquan, NJ 08736

Re: Major Subdivision -North Potter Partners, LLC
Block 162, Lots 1 & 2 ;
66 North Potter Avenue; R2 Zone

Dear Board Members,

Enclosed please find the following for review by the Board:

- 3 copies of engineering plans printed at 24"x36" prepared by our office for the referenced property dated last revised February 24, 2023
- 10 copies of reduced engineering plans printed at 11"x17" prepared by our office for the referenced property dated last revised February 24, 2023

I am in receipt of correspondence from the Board Engineer dated January 20, 2023, for the referenced project. The enclosed plans were revised to address comments in that report. The following is our response to the comments provided in that report. The numbering follows that of the engineer's report. I have noted the comment provided in the report for reference. Our response to the comment is provided in *italic*.

1. The property is located in the R-2 -Residential Zone, where the proposed residential lots are permitted.
No plan change required. The proposed application is permitted.
2. The following bulk ('c') variance is required as part of this application.
 - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 5 feet is proposed for Lot 1.03.
The applicant requests a variance for the proposed setback. The applicant will provide testimony addressing the proofs required for this variance. The variance is required on the waterfront lot.
3. The major subdivision plans show what appears to be conceptual layouts for potential dwelling sizes on the proposed lots. The dwelling on proposed Lot 1.03 requires a rear yard setback variance with the proposed configuration as indicated above. As the building layouts are conceptual, plot plans including the exact building layout, grading, and drainage recharge systems for each of the individual lots, will be required.

The plans have shown layouts for each lot as same if required to be provided for the NJDEP permits. Once the subdivision is perfected a plot plan will be required to be designed and provided to the Borough for approval as part of the building permit process. The engineer indicates that recharge systems will be required as part of the detailed engineering for each of the lots. The proposed development looks to be within the



Le: Manasquan Borough Planning Board
 c/o Ms. Barbara Ilaria, Board Secretary

Re: Major Subdivision -North Potter Partners, LLC
 Block 162, Lots 1 & 2 ;
 66 North Potter Avenue; R2 Zone

February 24, 2023
 Sheet 2 of 4

current zoning lot coverage requirements. In addition, the lots proposed are larger than lot sizes permitted for the Zone, and Wetland and CAFRA buffers provide for more land to except stormwater.

The design of stormwater systems is controlled by the NJDEP Best Management Practices. The NJDEP would require mitigation of stormwater volumes and quality should the project meet their definition of a Major Development. I have provided a copy of the stormwater management statement for the project. The development does not meet the definition of a 'Major Development' as defined by the NJDEP and therefore does not require stormwater management for either water quantity or water quality by their regulations.

The Borough however is permitted to have additional requirements requiring stormwater recharge. I anticipate this is why the Board Engineer had noted them in his report. The design of the recharge is required to meet the criteria outlined in the NJDEP Best Management Practices Manual. This manual requires that when recharge is provided on the property soil boring are to be provided addressing the seasonal high-water table. The bottom of any recharge is to be provided a minimum of 2' above the seasonal high-water table. The location of the water table is indicated by the mottling of layers in the soil. In response to the Board Engineers comment the applicant performed two soil borings on the property to determine the location of the seasonal high-water table. I have attached the results of those soil logs to the first page of the plans. The logs indicate the seasonal high-water table mottling at 1'3" and 2' from the surface of the soil. The presence of the mottling at this height in the soil log does not permit the recharge system to be located as required by the New Jersey Administrative code which contains the NJDEP Stormwater Management Best Practices. Therefore, recharge has not been provided.

The site fronts on tidal waters. The NJDEP does not require stormwater quantity mitigation in tidal areas when, even when the project is a Major Development, provided the runoff from the lots drain directly to the tidal waters and not across other properties. The grading has been provided on all lots to allow the waters from the properties to either drain directly to the tidal waters or to the roadways and not across other properties. The roadways drain to the tidal waters. In addition, it should be noted that the I note that NJDEP approval is required for the project. Part of that review would be to determine if stormwater mitigation measures are required. We are pleased to provide a copy of the NJDEP approval upon receipt.

4. The applicant's surveyor has submitted a setback averaging calculations for the front yard setback for proposed Lot 1.03 which decreases the required setback to 15 .5 feet. The applicant proposes a 15.5' front setback on Lot 1.03 and thus a variance for the normally required 25' setback is not required for the proposed layout.

The applicant concurs with this statement and has not requested a variance.

5. The applicant's engineer should be prepared to explain the limits of existing Lots 1.01 and 2.01 at the rear of the existing properties and the intent for these lots with the subdivision as they partially extend beyond the waterline. It appears these lots should be consolidated with proposed Lots 1.03 and 2.02 as they are landlocked and non-conforming.



Le: Manasquan Borough Planning Board
 c/o Ms. Barbara Ilaria, Board Secretary

Re: Major Subdivision -North Potter Partners, LLC
 Block 162, Lots 1 & 2 ;
 66 North Potter Avenue; R2 Zone

February 24, 2023
 Sheet 3 of 4

The NJDEP is the owner of the public trust which is the open waters in the state. Lots 1.01 and 2.01 are riparian lots that grant rights to the owners across the area that is owned by the NJDEP. The defined limit for NJDEP ownership is the mean high-water line. The limits of the riparian lots are correctly shown as ending at the mean high-water line. With that said, during times of low tide the bottom of the river may be exposed within that area; however, the exposed land is still considered the NJDEP water jurisdiction since it is waterward of the mean high-water line. Therefore, there is no land to merge into the proposed lots. I also note that the Tax Assessor in the attached email dated October 21, 2022 has shown the riparian lots as remaining. The Tax Assessor notes them as 'additional lots' connected to their associated landward lot confirming they remain separate. Please note that since the time of the attached email the Tax Assessor has changed the address for the lot shown as lot 1.03 to 66 N. Potter Ave instead of 8 Ocean Ave as shown in the email.

6. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required.

The applicant understands and agrees with this statement for any new variances which may be required beyond those approved as part of the subdivision application. We note that the applicant is currently requesting a height variance and setback variance for the proposed home on lot 1.03.

7. The plans indicate that all existing improvements will be removed as part of the application. I suggest that all structures be removed prior to the perfection of the subdivision, otherwise additional variances would be required.

The applicant understands and agrees with this statement.

8. The property is located within two flood zones (AE 9 and AE 10). The proposed dwellings must meet the BFE of the zone in which they are located.

The applicant understands and agrees with this statement.

9. As this is technically a major subdivision, the subdivision must be filed by map and not by deed. There are a number of items which must be added to the plan, including the benchmark, centerline and right-of-way half width for North Potter Avenue and Ocean Avenue, all necessary certifications, and coordinate points, for the plan to meet the requirements of the New Jersey Title Recordation Act (Map Filing Law). All necessary items must be added to the plan prior to submission for signing of the final plat.

The applicant understands and agrees with this statement and requests the revision of the map be a condition of approval.

10. Monuments must be set at the intersection of the proposed lot lines and the right-of-way lines and shown on the subdivision plat. I suggest all proposed monuments be set prior to the map being signed by the Board. The



February 24, 2023

Sheet 4 of 4

Le: Manasquan Borough Planning Board
c/o Ms. Barbara Ilaria, Board Secretary

Re: Major Subdivision -North Potter Partners, LLC
Block 162, Lots 1 & 2 ;
66 North Potter Avenue; R2 Zone

applicant should indicate their intent of when the monument will be set. If it is proposed to be set after the signing of the subdivision plat, a bond must be posted with the Borough.

The applicant requests the monuments be required to be installed prior to a c.o. being issued for each lot so that they are not damaged by the construction process. The required bond would be posted prior to signing the plat.

11. All applicable road opening permits from the Borough and must be obtained for the new utility connections, proposed curb and driveway aprons. The limits of pavement repair for the proposed curb and utility connections should be shown on the plan.
I have obtained records from and met with the supervisor of the Sewer and Water department. The plans have been revised to update the utility connections in accordance with the meeting.
12. The proposed lot numbers should be reviewed and approved by the tax office.
I have attached information received by the Tax Assessor indicating the lot numbers.
13. Any trees to be removed as part of the application should be indicated on the plan.
Testimony will be provided during the hearing relating to the trees existing on the site. It is anticipated that trees interior of the site will need to be removed to accommodate the construction for the new homes. As part of the individual plot plan preparation, we will meet with the shade tree commission to review the trees on the site to be removed. Based on that meeting we will locate the trees to be removed on the individual plot plans. The plot plans will also show the replacement trees to be planted and the applicant will post any fees as may be required by the Borough.
14. All applicable outside approvals must be obtained by the applicant. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board
 - b. NJDEP - LOI/FHA

Copies of the required approvals will be provided upon receipt. In addition, we have applied to Freehold Soil Conservation District.

If you have any questions or require additional information, kindly advise.

Very truly yours,

Elizabeth M. Waterbury
Elizabeth M. Waterbury, PE, PP, CME
Project Engineer

cc: Jeffrey Beekman Esq. via email
Frank Morris via email
Gary Ciliberto
Jennifer Naughten



PK Lynch <pklynchs@gmail.com>

Verifying proposed tax lot numbers at Ocean x Potter subdivision

Assessor, Tax <laxassessor@manasquan-nj.gov>
To: PK Lynch <pklynchs@gmail.com>

Fri, Oct 21, 2022 at 9:34 AM

Hi Paul,

Based on the subdivision the following would apply:

- Block 162 Lot 1.02 - 4 Ocean Ave.**
- Block 162 Lot 1.03 (additional Lot 1.01 riparian) - 6 Ocean Ave.**
- Block 162 Lot 2.02 (additional Lot 2.01 riparian) - 8 Ocean Ave.**

If you have any other questions, please feel free to contact me.

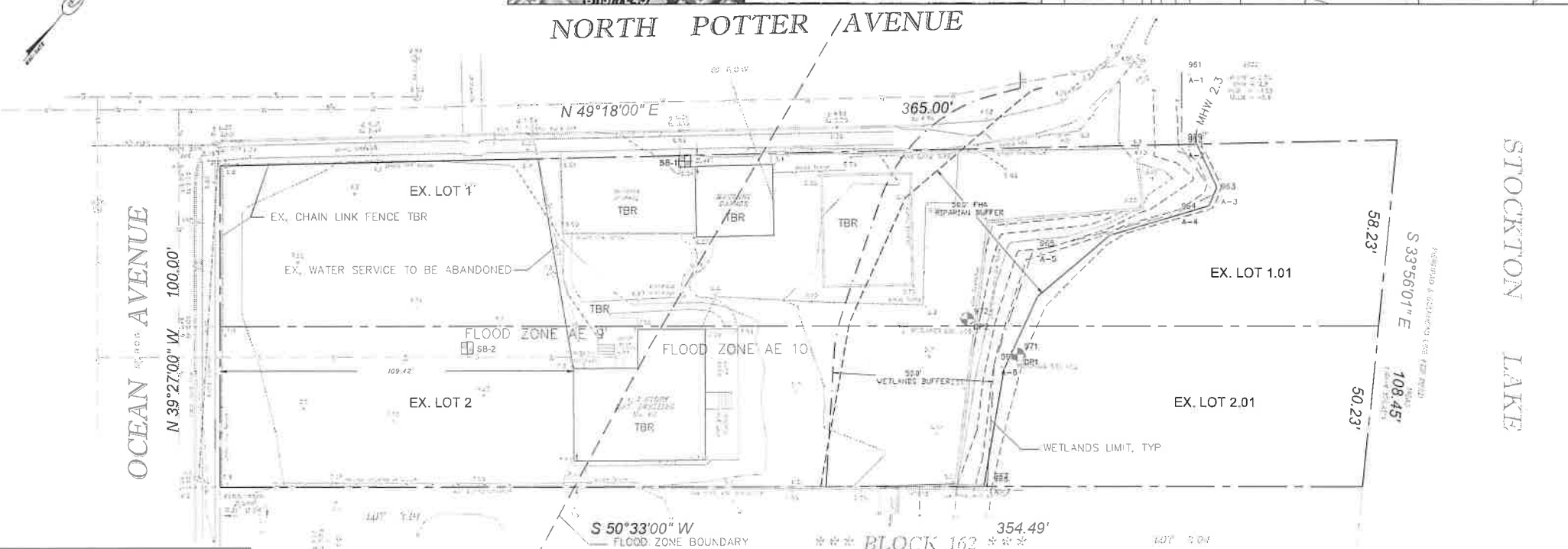
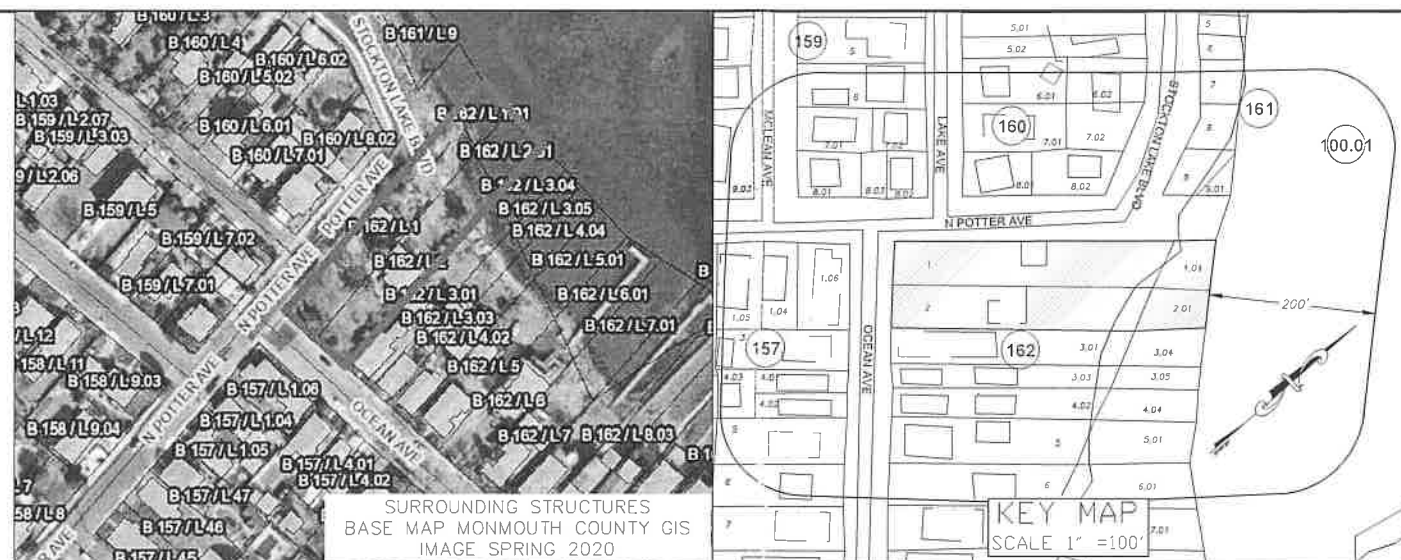
Regards,
Robyn

[Quoted text hidden]

—
Robyn Palughi, Tax Assessor
732-223-2292, Ext 238

GENERAL NOTES

1. ALL STRUCTURES ABOVE AND BELOW GROUND TO BE REMOVED WITHIN THE LIMITS OF THE PROJECT.
2. PROJECT IS SHOWN IN FLOOD ZONES AE9 AND AE10 PER PRELIMINARY FEMA FLOOD MAP 34025C0456G DATED JANUARY 31, 2014.
3. WETLANDS SHOWN AS FLAGGED BY OTHERS. SEE SURVEY



LEGEND

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED ROOFED PORCH
[Symbol]	PROPOSED CONCRETE SIDEWALK 4" THK.
[Symbol]	EXISTING LOT LINES
[Symbol]	EXISTING BUILDINGS
[Symbol]	TBR TO BE REMOVED
[Symbol]	BUILDING SET BACK LINE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING SEWER LINE

NOTES FROM REFERENCED SURVEY
 THE LOTS AND PREMISES SURVEYED AND SHOWN HEREON ARE KNOWN AND DESIGNATED AS LOT 1 & 2 BLOCK 9 AS SAID LOTS ARE SHOWN ON A CERTAIN MAP ENTITLED "MAP OF THE ESTATE OF F.H. JACKSON Dec'd. SITUATE IN THE BOROUGH OF MANASQUAN MONMOUTH CO. N.J." MADE BY WILLIAM SECOR SURVEYOR POINT PLEASANT, N.J. DATED JULY 1889 AND FILED IN THE OFFICE OF THE COUNTY CLERK ON JUNE 25, 1890 IN CASE 71 SHEET 16 (INCLUDING RIPARIAN GRANT PER RECORD DEED)



GENERAL NOTES

1. UTILITY INFORMATION SHOWN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR WILL REQUEST UTILITY MARK DUTS FROM THE RESPECTIVE COMPANIES AND VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS WILL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PIT INFORMATION WILL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
2. THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL OF THIS SET OF PLANS WILL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE 'ISSUED FOR CONSTRUCTION'.
3. ALL WORK WILL BE DONE IN COMPLIANCE WITH THE CURRENT CONSTRUCTION STANDARDS OF THE FOLLOWING WHERE APPLICABLE:
 - A. LATEST EDITION.
 - B. CURRENT, PREVAILING MUNICIPAL & COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS OR REQUIREMENTS.
 - D. NEW JERSEY ADMINISTRATIVE CODE TITLE 5 CHAPTER 21, 'RESIDENTIAL SITE IMPROVEMENT STANDARDS'.
4. ONLY ORIGINAL PAPER COPIES FOR EACH PROJECT SHEET MARKED WITH AN ORIGINAL EMBOSSED SEAL OF THE SIGNING ENGINEER'S SEAL SHALL BE CONSIDERED TO BE VALID AND OR ONLY PDF COPIES OF THE PROJECT CONTAINING A VERIFIED AND CERTIFIED DIGITAL SEAL OF THE SIGNING ENGINEER'S SEAL SHALL BE CONSIDERED TO BE VALID COPIES.
5. THIS PLAN WAS PREPARED FOR SUBMISSION TO THE BOROUGH OF MANASQUAN FOR THE PURPOSES OF A ZONING AND BUILDING PERMIT. THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR FOR THE ORIGINAL INTENTION, WITHOUT THE WRITTEN PERMISSION OF E.M. WATERBURY & ASSOCIATES IS PROHIBITED.

PROJECT DESCRIPTION

APPLICANT/ OWNER: NORTH POTTER PARTNERS LLC
 LOCATION: LOT 101, 102, 103, 201, 202 BLOCK 162
 66 OCEAN AVE, MANASQUAN, NJ
 ZONE: R2

EXISTING USE: 2 LOT SINGLE FAMILY UPLAND LOTS
 PROPOSED USE: 3 LOT SINGLE FAMILY UPLAND LOTS

BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PREPARED BY PAUL K. LYNCH DATED APRIL 4, 2022

OWNER/APPLICANT

APPLICANT/ OWNER: NORTH POTTER PARTNERS LLC

UTILITIES

MONMOUTH COUNTY HIGHWAY DEPT 150 CENTER ST FREEHOLD, NJ 07728-2465	MONMOUTH COUNTY PLANNING BOARD HALL OF RECORDS ANNEX 1 E MAIN ST, SECOND FLOOR FREEHOLD, NJ 07728-22732	VERIZON P.O. BOX 4853 TRENTON, NJ 08650-4833
STATE OF NEW JERSEY COMMISSIONER OF TRANSPORTATION DEPARTMENT OF TRANSPORTATION 1054 PARKWAY AVENUE TRENTON, NJ 08625-2305	NJ AMERICAN WATER COMPANY CORPORATE SECRETARY 131 WOODCREAST RD CHERRY HILL, NJ 08003	NJ NATURAL GAS CO 1415 WYCKOFF RD P.O. BOX 1378 WALL, NJ 07753-0001
JCP&L - CUSTOMER SERVICE P.O. BOX 16001 READING, PA 19612-6001	CABLE VISION 1111 STEWART AVE BEH-PAGE, NY 11714-3533	

NO.	DATE	REVISIONS	BY	CHECKED
6.	3/14/2023	UPDATE SOIL EROSION NOTES PER FSCD REVIEW DATED 3/2/2023	TCS	EMW
5.	3/1/2023	UPDATE AREA TO LOT 102 PER FINAL PLAT UPDATE DISTURBANCE AREA IN ROW	TCS	EMW
4.	2/21/2023	UPDATE PLATS PER BOARD ENGINEER'S REPORT DATED 1/20/2023	TCS	EMW
3.	12/29/2022	UPDATE BUILDING FOOTPRINTS PER CLIENT	TCS	EMW
2.	12/23/2022	UPDATE LOT 102 ZONING INFORMATION AND SETBACK	TCS	EMW
1.	12/20/2022	UPDATE PROPOSED PLAN PER CLIENT - ADD GRADING DRAINAGE AND DETAIL SHEETS	TCS	EMW

PROJECT NO: _____

NORTH POTTER PARTNERS LLC
MAJOR SUBDIVISION
 LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NJ

EXISTING CONDITIONS AND DEMOLITION PLAN

E.M. Waterbury & Associates, P.A.
 ENGINEERING • PLANNING • LAND USE & DEVELOPMENT
 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6778 Email:emw@emwso@aol.com

Digitally signed by

 Elizabeth Waterbury
 ELIZABETH M. WATERBURY, P.E., P.S.
 LICENSED PROFESSIONAL ENGINEER AND PLANNER
 STATE OF NJ LICENSE No. 31845 (P.E.) 03591 (P.S.)
 Date: 2023.04.03
 11:14:11 -04'00'

SOIL BORING LOGS

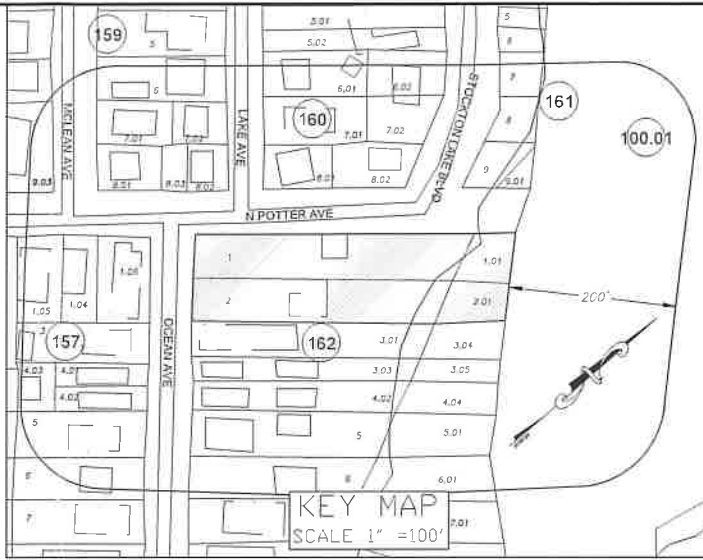
NO.	DATE	REVISIONS	BY	CHECKED
1.	2/16/2023	ADD SOIL BORING LOGS	JONAS ENDERSON	EMW

SOIL BORINGS WERE PERFORMED ON SITE ON 2/16/2023 BY JONAS ENDERSON

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GRADING NOTES.

1. EXISTING CONCRETE CURB ALONG THE ADJACENT STREETS DAMAGED BY CONSTRUCTION SHALL BE REMOVED AND REPLACED IF AND WHERE DIRECTED BY THE BOROUGH ENGINEER.
2. CONCRETE CURB TO BE REPLACED SHALL BE CONSTRUCTED IN HORIZONTAL AND VERTICAL ALIGNMENT WITH EXISTING CURB AND PAVEMENT SURROUNDING REPAIR.
3. SEE TYPICAL INDIVIDUAL LOT SOIL EROSION AND SEDIMENT CONTROL DETAIL SHEET 4 FOR LOCATION OF SEDIMENT CONTROL MEASURES DURING LOT CONSTRUCTION.
4. EACH LOT IS TO GRADED AND MEET THE REQUIREMENTS OF SECTION 28-1.3 OF THE BOROUGH ORDINANCE.



FIRM FLOOD INSURANCE RATE MAP
MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)
PANEL 456 OF 457
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)
DATE: JANUARY 31, 2014

MAP NUMBER: 34025C0456G
MAP REVISED:

Federal Emergency Management Agency

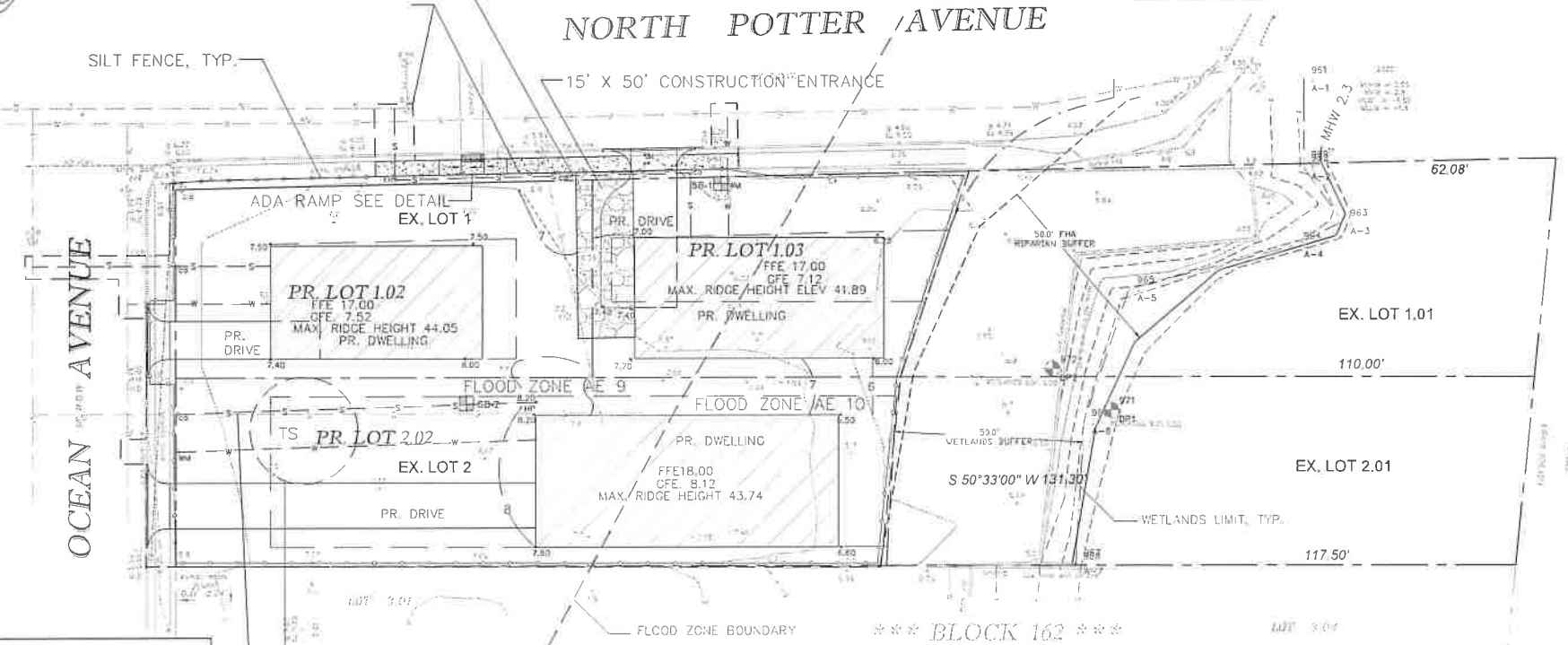
4" SANITARY SEWER LATERAL FOR LOT 1.03 TO BE LOCATED WITHIN RIGHT-OF-WAY

SILT FENCE, TYP.

NORTH POTTER AVENUE

OCEAN AVENUE

STOCKTON LAKE



SANITARY SEWER AND UTILITY NOTES

1. EXISTING UTILITIES TO BE USED FOR DWELLING ON LOT 2. THE PROPOSED LATERALS FOR THE DWELLINGS ON LOTS 1.02 AND 1.03 SHALL BE INSTALLED AND CONNECTED TO THE MAIN IN COMPLIANCE WITH THE 'STANDARD DETAILS' AND THE SEWER USE RULES AND REGULATIONS OF THE LOCAL SEWERAGE AUTHORITY.
2. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS AND JURISDICTIONAL UTILITY AGENCY.
3. CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FOR UTILITY INSTALLATION PRIOR TO BEGINNING WORK.
4. LOCATIONS OF UTILITY CONNECTIONS TO BE CONFIRMED WITH UTILITY COMPANIES AND MECHANICAL DESIGN PRIOR TO INSTALLATION.
5. SANITARY SEWER HOUSE CONNECTIONS TO BE 4" DIAMETER PVC PIPE SDR35.
6. FOUR INCH IWES TO BE USED FOR SANITARY SEWER HOUSE CONNECTIONS.
7. CONTRACTOR IS TO VERIFY ALL LOCATIONS OF UTILITY CONNECTIONS WITH UTILITY COMPANIES AND OBTAIN A FIELD MARK OUT PRIOR TO ANY DISTURBANCE OF THE SITE AND/OR PRIOR TO INSTALLATION. ENGINEER IS TO BE NOTIFIED OF ANY DISCREPANCIES BETWEEN ITEMS SHOWN ON THE PLAN AND LOCATED IN THE FIELD.
8. WATER MAIN EXTENSION AND SERVICE LINE TO BE IN ACCORDANCE WITH N.J.A.C. 5:23-3.15, NJAC 5:21-5.3 AND SPECIFICATION OF NEW JERSEY AMERICAN WATER COMPANY.

WATER SERVICE AND SANITARY SEWER SERVICE TO BE SEPARATED AS REQUIRED IN NJAC 7:14a-23.6 AS FOLLOWS UNLESS AMENDED TO REQUIRE STRICTER REQUIREMENTS. IN THAT CASE THE STRICTER REQUIREMENTS SHALL APPLY:

1. Sewers conveying sanitary flow, combined sanitary and stormwater flow, or industrial flow shall be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separation is not possible, the pipes shall be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the Department.

Where appropriate separation from a water main is not possible, the sewer shall be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer shall be provided. The Department may also require additional structural support for storm sewers crossing over sewer lines.

NO.	DATE	REVISIONS	BY	CHECKED
5.	3/14/2023	UPDATE SOIL EROSION NOTES PER F50D REVIEW DATED 3/3/2023	TCS	EMW
5.	3/1/2023	UPDATE AREA TO LOT 1.02 PER FINAL PLAT UPDATE DISTURBANCE AREA IN ROW	TCS	EMW
4.	2/23/2023	UPDATE PLANS PER BOARD ENGINEER'S REPORT DATED 1/25/2023	TCS	EMW
3.	12/21/2022	UPDATE BUILDING FOOTPRINTS PER CLIENT	TCS	EMW
2.	12/23/2022	UPDATE LOT 1.03 ZONING INFORMATION AND SETBACK	TCS	EMW
1.	12/20/2022	UPDATE PROPOSED PLAN PER CLIENT - ADD GRADING DRAINAGE AND DETAIL SHEETS	TCS	EMW

PROJECT NO: **NORTH POTTER PARTNERS LLC**
MAJOR SUBDIVISION
LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NJ

GRADING, UTILITY AND SOIL EROSION AND SEDIMENT CONTROL PLAN

E.M. Waterbury & Associates, P.A.
ENGINEERING • PLANNING • LAND USE & DEVELOPMENT
530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6778 Email:emwsoa@aol.com

Digitally signed by Elizabeth Waterbury
Date: 2023.03.15 09:53:57 -04'00'

ELIZABETH M. WATERBURY, P.E., P.P.
LICENSED PROFESSIONAL ENGINEER AND PLANNER
STATE OF NJ LICENSE NO. 31845 (P.E.) 03591 (P.P.)

CONFIDENTIAL 2023. E.M. WATERBURY AND ASSOCIATES - ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT OR PORTION THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR THE PURPOSE GOVERNMENT INTENDED, WITHOUT THE WRITTEN PERMISSION OF E.M. WATERBURY AND ASSOCIATES IS PROHIBITED.

LEGEND

- PROPOSED BUILDING
- PROPOSED ROOFED PORCH
- PROPOSED CONCRETE SIDEWALK 4" THK.
- EXISTING LOT LINES
- EXISTING BUILDINGS
- TBR TO BE REMOVED
- BUILDING SET BACK LINE
- EXISTING CURB LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- FFE FINISH FLOOR ELEV.
- GFE GROUND LEVEL ELEV.
- SB-1 SOIL BORING LOCATION

SESC LEGEND

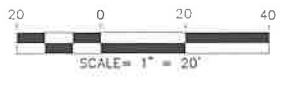
- INLET PROTECTION
- TOPSOIL STOCKPILE
- CONSTRUCTION ENTRANCE
- SILT FENCE
- DISTURBANCE LIMIT
- EM ELEVATION
- 4.00 PROP. ELEVATION

SOIL EROSION SEDIMENT CONTROL NOTES

1. TOTAL AREA OF DISTURBANCE = 2012 SF WITHIN ROW PAVEMENT = 19880 SF OUTSIDE OF ROADWAY = 21892 SF TOTAL
2. ALL AREAS NOT COVERED BY STRUCTURE OR LANDSCAPE BEDS SHALL RECEIVE TOPSOIL LAYER MEASURING 5" THK., MEASURED IN A COMPACTED STATE. TOPSOIL USED SHALL IN ACCORDANCE WITH THE 'STANDARD FOR TOPSOILING' FOUND IN THE LATEST EDITION OF 'Standards for Soil Erosion and Sediment Control in New Jersey'.
3. LAWN AREAS TO BE PERMANENTLY STABILIZED USING EITHER SEED OR SOD AS CHOSEN BY THE OWNER. IF SEEDING, PERMANENT LAWN SEED MIXTURE TO BE SEED MIXTURE 13 AS NOTED IN TABLE 4-3 ON SHEET 6.
4. SEEDING AREAS ARE TO BE FERTILIZED AND MULCHED IN ACCORDANCE WITH SOIL CONSERVATION DISTRICT STANDARDS.
5. SESC PROTECTION MEASURES SUCH AS SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO DISTURBANCE OF SITE. SILT FENCING IS TO BE PLACED AROUND THE LIMIT OF DISTURBANCE AND LEFT IN PLACE UNTIL THE SITE IS PERMANENTLY STABILIZED.
6. TREES TO REMAIN SHALL HAVE TREE PROTECTION INSTALLED PRIOR TO DISTURBANCE OF SITE.

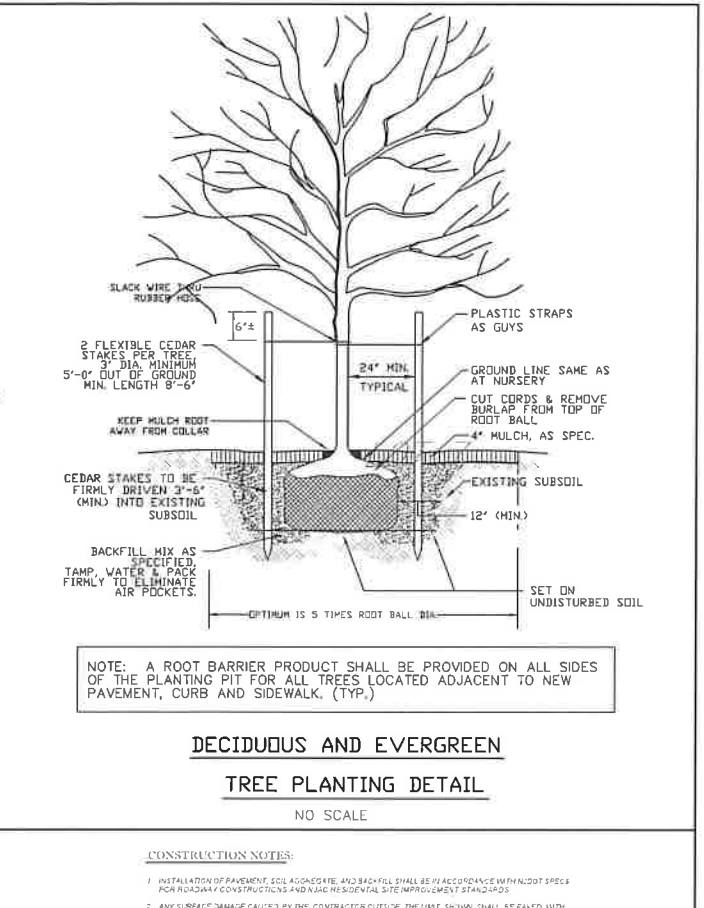
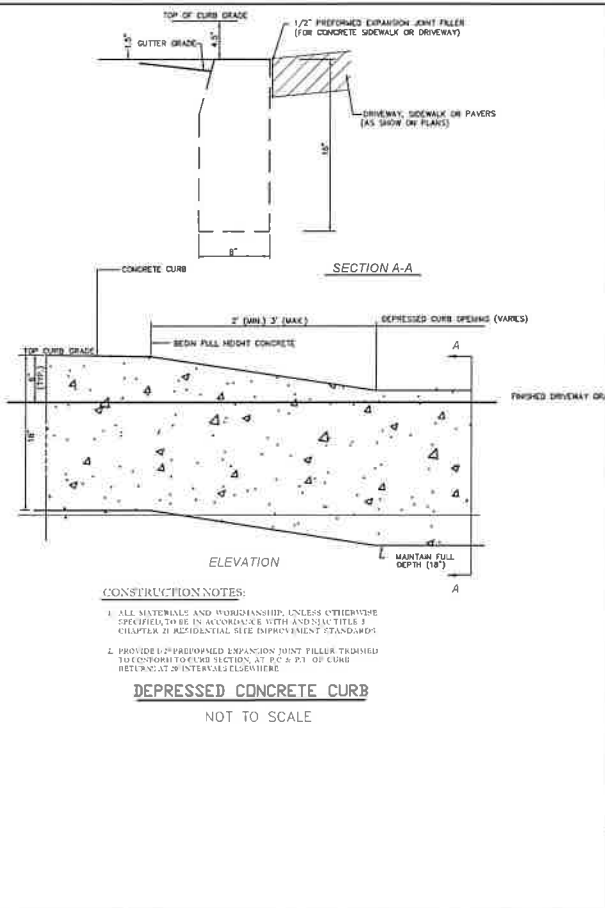
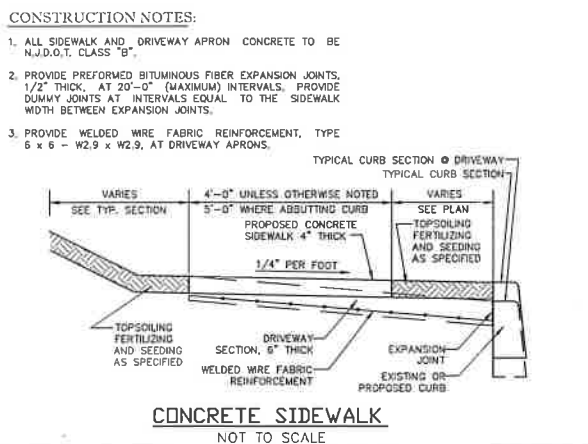
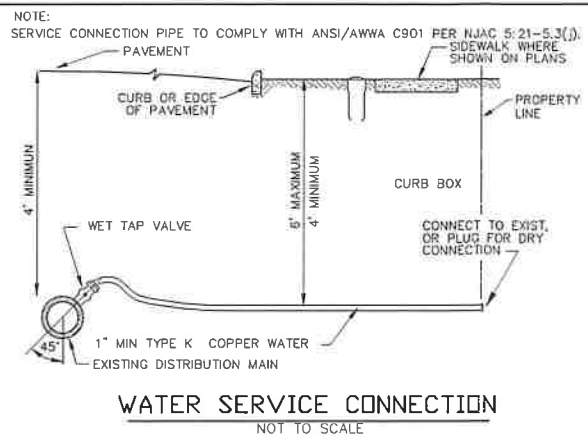
PROPOSED CONSTRUCTION SEQUENCE FOR EACH DWELLING

1. FIRST WEEK OF CONSTRUCTION APPLY PROPER MEASURES FOR THE CONTROL OF SOIL EROSION AND SEDIMENT CONTROL.
2. CLEARING OF THE SITE WILL TAKE APPROXIMATELY THREE WEEKS.
3. UTILITY SERVICE CONNECTIONS AS MAY BE REQUIRED WILL TAKE APPROXIMATELY 2 WEEKS.
4. TEMPORARY STABILIZATION OF DISTURBED AREAS IN A ROUGH GRADED CONDITION MAINTAINED BY SEEDING AND/OR MULCHING UNTIL PROPER WEATHER CONDITIONS EXIST FOR ESTABLISHMENT OF PERMANENT VEGETATIVE COVER WILL TAKE APPROXIMATELY ONE WEEK.
5. CONSTRUCTION OF PROPOSED STRUCTURE ADDITION WILL TAKE APPROXIMATELY 4 MONTHS.
6. INSTALLATION OF MATERIALS FOR SIDEWALK, DRIVEWAY RECONFIGURATION AND OTHER EXISTING IMPROVEMENT REPAIR AS MAY BE REQUIRED WILL TAKE APPROXIMATELY ONE MONTH.
7. MAINTENANCE OF SOIL EROSION PROCEDURES
8. INSTALLATION OF TOPSOILING, FERTILIZING, SEEDING AND MULCHING AND LANDSCAPING WILL TAKE APPROXIMATELY THREE WEEKS.
9. REMOVAL OF SOIL EROSION AND SEDIMENT CONTROL DEVICES AFTER ESTABLISHED VEGETATIVE GROWTH HAS OCCURRED AND SITE IS PERMANENTLY STABILIZED.



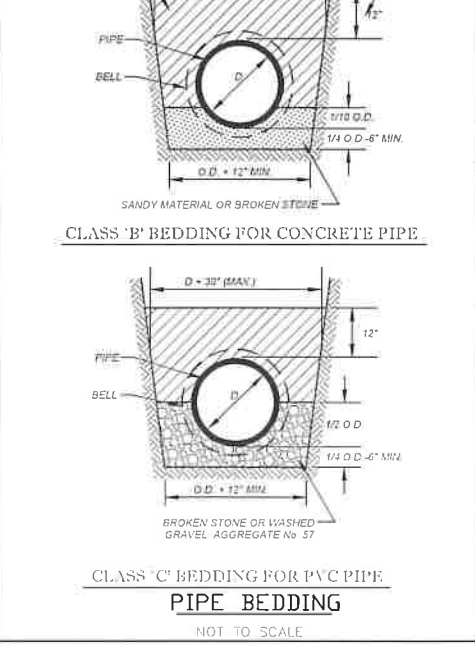
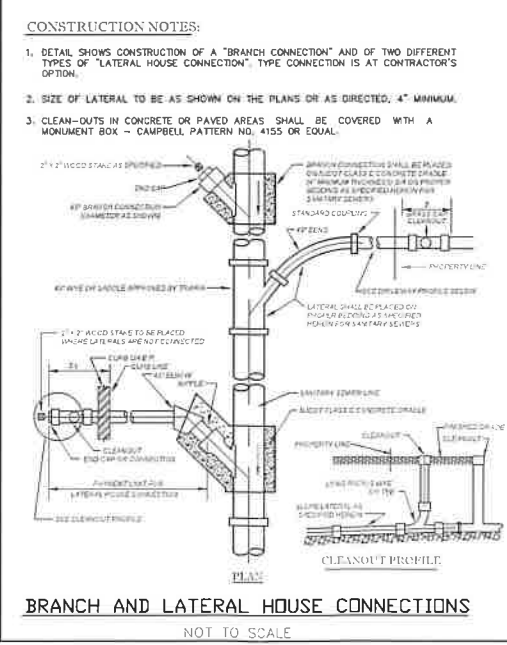
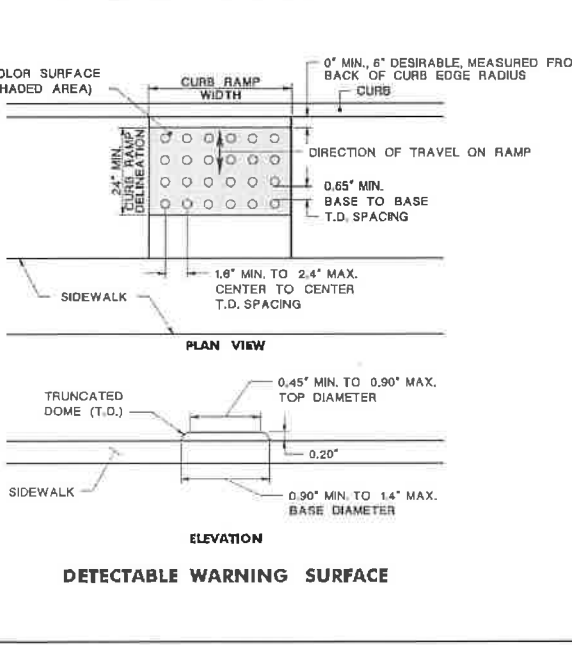
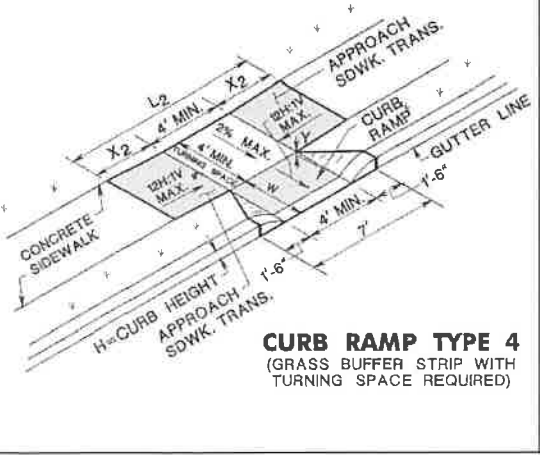
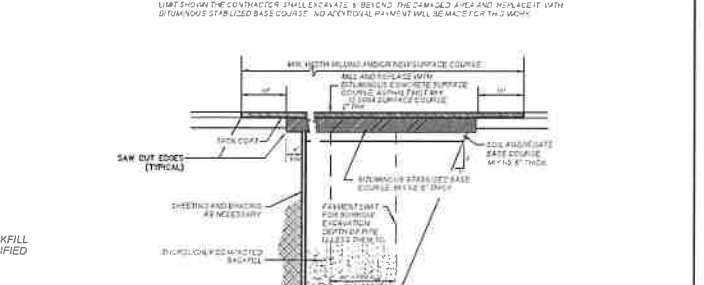
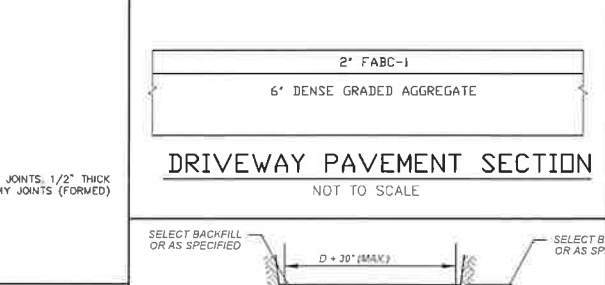
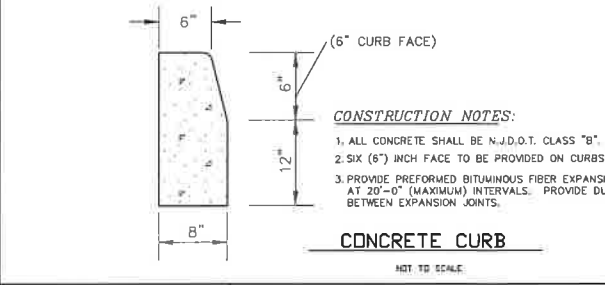
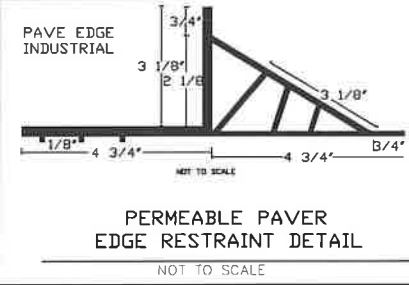
GENERAL CONSTRUCTION NOTES

- DIMENSION OF SIDEWALKS SHALL BE AS SHOWN.
- PROPERTY KNOWN AS LOTS 1 & 2, BLOCK 162, SITUATED IN THE BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY.
- PROPERTY IS LOCATED IN THE R2 ZONE.
- DO NOT SCALE THESE DRAWINGS. ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, AND/OR IF SUCH CONDITIONS IN THE CONTRACTOR'S OPINION SHOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- SITE SHALL BE SERVICED BY PUBLIC WATER.
- SITE IS SERVICED BY A SANITARY SEWER SYSTEM.
- SIGHT TRIANGLE EASEMENTS AS MAY BE REQUIRED ARE TO CONFORM W/THE BOROUGH OF MANASQUAN SUBJECT TO SUCH GRADING, PLANTING AND CONSTRUCTION RESTRICTIONS AS APPLY.
- ALL DIMENSIONS SHALL BE MEASURED FROM THE FACE OF THE CURB.
- PROPOSED SITE GRADING SHALL NOT EXCEED 3:1 SLOPE.
- BENCHMARK IS BASED ON ASSUMED DATUM.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND PRIOR TO THE PLACEMENT OF ANY PAVEMENT COURSE.
- ALL EXISTING STRUCTURES ABOVE AND BELOW GROUND ARE TO BE REMOVED (TBR) UNLESS OTHERWISE NOTED HEREON.
- GAS SERVICE SHALL BE PROVIDED BY N.J. NATURAL GAS COMPANY. ELECTRIC SERVICE TO BE PROVIDED BY G.P.U ENERGY.
- SOIL EROSION AND SEDIMENT CONTROL APPROVAL/ EXEMPTION SHALL FALL UNDER THE JURISDICTION OF THE FREEHOLD SOIL CONSERVATION DISTRICT, MANALAPAN, N.J.
- EXISTING VEGETATION SHALL REMAIN WHEREVER POSSIBLE.
- PROTECTIVE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING PRIOR TO THE START OF CONSTRUCTION TO ENSURE THE PRESERVATION OF ALL EXISTING VEGETATION WHICH IS TO REMAIN.
- STORM SEWER PIPE, IF PROPOSED ON SITE, SHALL BE REINFORCED CONCRETE PIPE CLASS III, WALL B, UNLESS OTHERWISE NOTED.
- ANY STORM SEWER AND SANITARY SEWER PIPE LENGTHS WHICH MAY BE INDICATED ON THE PLANS AND PROFILES REPRESENT LENGTHS FROM EDGE OF STRUCTURE TO EDGE OF STRUCTURE.
- UNDERDRAINS SHALL BE INSTALLED IF AND WHERE DIRECTED BY THE TOWNSHIP ENGINEER.
- ALL SANITARY SEWER PIPE SHALL BE PVC SDR-35 OR APPROVED EQUAL.
- 100 YEAR FLOOD ELEVATION TAKEN FROM FLOOD INSURANCE RATE MAP FOR THE BOROUGH OF MANASQUAN FALLS, NJ MONMOUTH COUNTY DATED JANUARY 31, 2014; PROPERTY LOCATED IN AE9 AND AE 10 ZONES.
- TEMPORARY CHAIN LINK FENCE, SIGN AND ANY OTHER CONSTRUCTION RELATED ITEMS SHALL BE REMOVED WITHIN 10 DAYS OF COMPLETION OF CONSTRUCTION, IF APPLICABLE.



CURB RAMP TYPE 4

H @ GUTTER LINE PROFILE		W @ GUTTER LINE PROFILE	
H INCHES	W INCHES	H INCHES	W INCHES
3	4	3	4
4	4	4	4
5	4	5	4
6	4	6	4
7	4	7	4
8	4	8	4
9	4	9	4
10	4	10	4
11	4	11	4
12	4	12	4
13	4	13	4
14	4	14	4
15	4	15	4
16	4	16	4
17	4	17	4
18	4	18	4
19	4	19	4
20	4	20	4
21	4	21	4
22	4	22	4
23	4	23	4
24	4	24	4



CONSTRUCTION NOTES:

- INSTALLATION OF PAVEMENT, SOIL AGGREGATE, AND BACKFILL SHALL BE IN ACCORDANCE WITH NJDOT SPEC FOR ROADWAY CONSTRUCTIONS AND NJAC RESIDENTIAL SITE IMPROVEMENT STANDARDS.
- ANY SURFACE DAMAGE CAUSED BY THE CONTRACTOR OUTSIDE THE LIMIT SHOWN, SHALL BE REPAVED WITH SURFACE COURSE WHEN THE BASE COURSE OF THE EXISTING PAVEMENT IS DAMAGED BEYOND THE LIMIT SHOWN. THE CONTRACTOR SHALL EXCAVATE 8" BEYOND THE DAMAGED AREA AND REPAVE IT WITH 8" MINIMUM STABILIZED BASE COURSE. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS WORK.

NO.	DATE	REVISIONS	BY	CHECKED
1	2/23/2023	UPDATE PLANS PER BOARD ENGINEER'S REPORT DATED 1/20/2023	TCS	EMW

NORTH POTTER PARTNERS LLC
MAJOR SUBDIVISION
LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NJ

CONSTRUCTION DETAILS

E.M. Waterbury & Associates, P.A.
ENGINEERING • PLANNING • LAND USE & DEVELOPMENT
530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6778 Email:emwssoc@aol.com

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12/20/2022
SHEET 4 OF 8

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SOIL EROSION AND SEDIMENT CONTROL NOTES

- The Freehold Soil Conservation District shall be notified forty-eight (48) hours in advance of any soil disturbing activity.
- All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
- Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
- N.J.S.A. 4:24-39 et. Seq. requires that no Certificates of Occupancy be issued before the District determines that a project or portion thereof is in full compliance with the Certified Plan and Standards for Soil Erosion and Sediment Control in New Jersey and a Report of Compliance has been issued. Upon written request from the applicant, the District may issue a Report of Compliance with conditions on a lot-by-lot or section-by-section basis, provided that the project or portion thereof is in satisfactory compliance with the sequence of development and temporary measures for soil erosion and sediment control have been implemented, including provisions for stabilization and site work.
- Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 2 to 2 1/2 tons per acre, according to the Standard for Stabilization with Mulch Only.
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. soil stockpiles, steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, and a mulch anchor, in accordance with State Standards.
- A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas. In areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading.
- The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site. After interior roadways are paved, individual lots require a stabilized construction access consisting of one inch to two inch (1" - 2") stone for a minimum length of ten feet (10') equal to the lot entrance width. All other access points shall be blocked off.
- All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public right-of-ways will be removed immediately.
- Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading.
- At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
- In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be ultimately placed or buried with limestone applied at the rate of 10 tons/acre, (or 450 lbs/1,000 sq ft of surface area) and covered with a minimum of 12" of settled soil with a pH of 5 or more, or 24" where trees or shrubs are to be planted.
- Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.
- Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
- Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control.
- Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.
- All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #6.
- The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.

Freehold Soil Conservation District
4000 Kozloski Road, Freehold, NJ 07728-5033, (732) 683-9500, fax (732) 683-9140, Email: info@freeholdscd.org.

Table 27-1: Lengths of Construction Exits on Sloping Roadbeds

Percent Slope of Roadway	Length of Stone Required	
	Coarse Grained Soils	Fine Grained Soils
0 to 2%	50 ft	100 ft
2 to 5%	100 ft	200 ft
>5%	Entire surface stabilized with Hot Mix Asphalt Base Course, Mix 1-2 ¹	

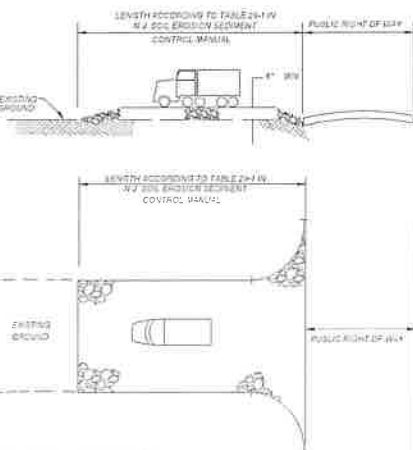
- As prescribed by local ordinance or other governing authority.

NOTES

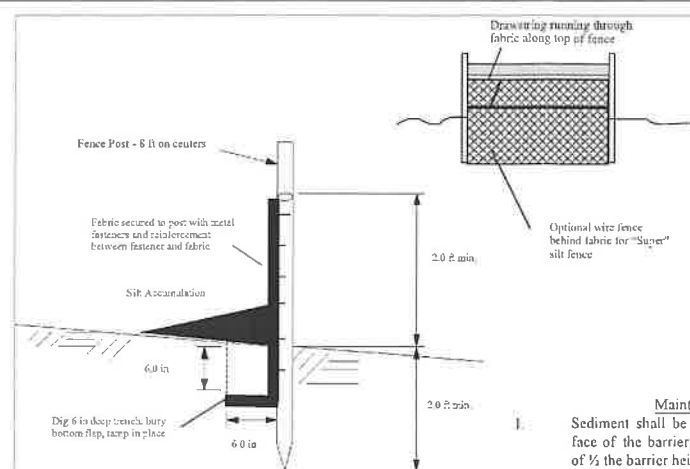
- INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION
- THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY (TYP)
- STONE SIZE USED FOR CONSTRUCTION ACCESS SHALL BE 1.5" TO 2.5" IN SIZE

NOTE:
INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION
THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY (TYP)

STABILIZED CONSTRUCTION ENTRANCE



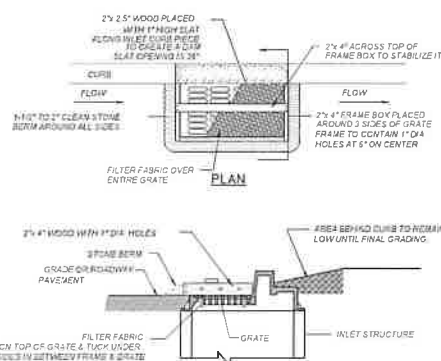
N.T.S.



SILT FENCE SEDIMENT BARRIER

N.T.S.

- Maintenance**
- Sediment shall be removed from the upstream face of the barrier when it has reached a depth of 1/2 the barrier height.
 - Repair or replace barrier (fabric, posts, bales etc.) when damaged.
 - Barriers shall be inspected daily for signs of deterioration and sediment removal

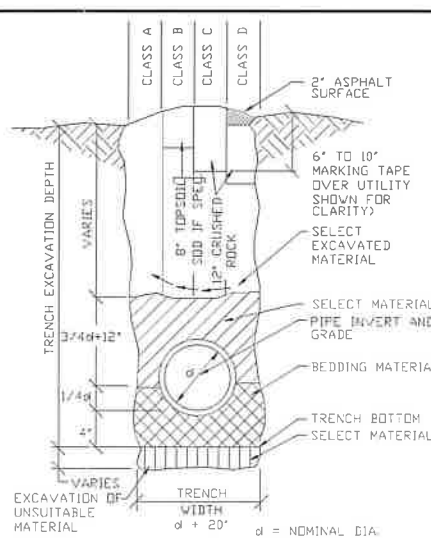


SECTIONAL VIEW AT DOWNSTREAM END

- CONSTRUCTION NOTES**
- THE FILTER BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TO THE INLET HAS BEEN STABILIZED. INSPECTIONS SHALL BE MADE FOLLOWING EACH RAINFALL. MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED AND SEDIMENT SHALL BE REMOVED AFTER EACH RAINFALL.
 - FILTER FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUIVALENT.

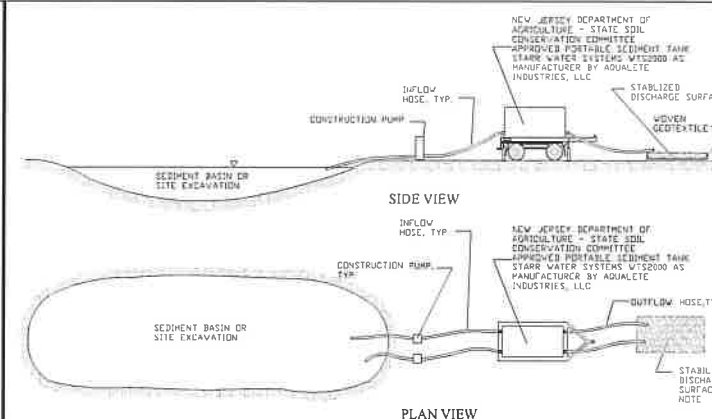
STORM SEWER INLET PROTECTION

M.F.F.



SEWER LINE TRENCH

NOT TO SCALE



DEWATERING DETAIL USING WTS 2000 PORTABLE SEDIMENT TANK SEDIMENT BASIN OR SITE EXCAVATION CONTAINMENT

NOT TO SCALE

Construction Specifications

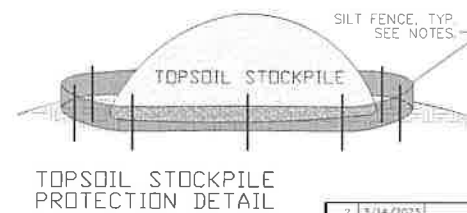
- Location:** Containers (tanks or bags) shall be located for ease of clean-out and disposal of the trapped sediment and to minimize interference with construction activities and pedestrian traffic. Bags shall not be placed directly into receiving waters.
- Tank size:** The following formula should be used in determining the storage volume of the tank: 1 cubic foot of storage for each gallon per minute of pump discharge capacity. Typical tank configuration is shown on Detail 14-5. Tanks may be connected in series to increase effectiveness.
- Tanks consist of two concentric circular pipes (CMP), attached to a watertight baseplate. The inner CMP is perforated with 1" holes on 6" centers and is wrapped with geotextile and hardware cloth. Pumped water is discharged into the inner CMP where it flows through the geotextile into the space between the two CMP's. A discharge line is attached to the outer CMP and draws filtered water from the annulus between the two concentric CMP's. The discharge line may be connected to another tank where it drains to the inner CMP of the second tank. This series connection may be continued indefinitely.
- Sediment Control Bags must be located away from receiving waters and disposed of according to manufacturer's instructions. See Detail for Sediment Control Bag (Filter Bag)

DEWATERING NOTES

NOT TO SCALE

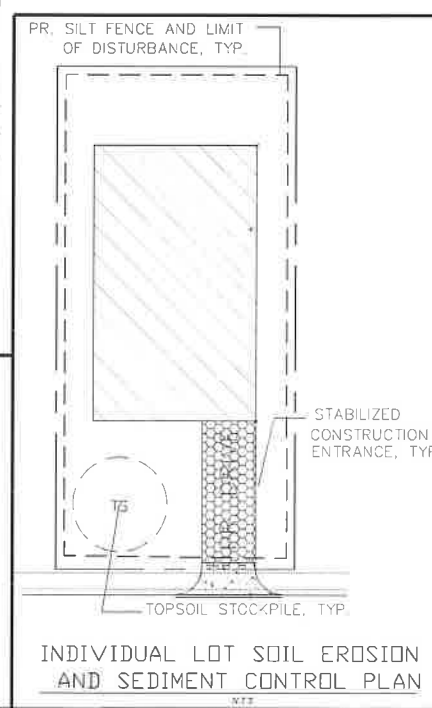
NOTES

- STOCKPILE TO IMMEDIATELY RECEIVE VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
- SILT FENCE SEDIMENT BARRIER TO BE PROVIDED, IMMEDIATELY UPON CREATION OF STOCKPILE. AT THE BASE OF STOCKPILE ON ALL SIDES WHERE THE GROUND GRADES AWAY FROM THE STOCKPILE, SILT FENCE SEDIMENT BARRIER TO BE INSTALLED IN ACCORDANCE WITH DETAIL.



TOPSOIL STOCKPILE PROTECTION DETAIL

M.F.F.

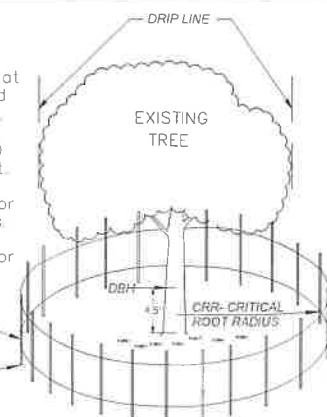


INDIVIDUAL LOT SOIL EROSION AND SEDIMENT CONTROL PLAN

N.T.S.

DETERMINATION OF CRITICAL ROOT RADIUS (CRR)

- Measure the DBH (diameter of tree at breast height, 4.5 feet above ground on the uphill side of tree) in inches.
- Multiply measured DBH by 1.5 or 1.0 per below. Express the result in feet.
DBH x 1.5: CRITICAL ROOT RADIUS for older, unhealthy, or sensitive species.
DBH x 1.0: CRITICAL ROOT RADIUS for younger, healthy or tolerant species



TREE PROTECTION DURING CONSTRUCTION DETAIL

NOT TO SCALE

TREE PROTECTION NOTES:

TREES NOT SHOWN ON THE PLAN TO BE REMOVED SHALL BE PROTECTED. SEE DETAIL FOR THE MINIMUM AREA TO BE FENCED, PROTECTING A TREE FROM COMPACTION FROM HEAVY EQUIPMENT, THE WEIGHT OF STOCKPILED MATERIALS, AND FROM GRADE CHANGES THAT DISTURB THE ROOT AREA IS ESSENTIAL FOR TREE SURVIVAL.

TREES TO REMAIN MUST BE PROTECTED FROM MECHANICAL INJURY FROM EQUIPMENT OR OPERATIONS DURING CONSTRUCTION BECAUSE WOUNDS ADMIT DECAY AND DISEASE, ORGANISMS AND MAY ALTER GROWTH PATTERNS.

2	3/14/2023	UPDATE PLANS PER FSD REPORT DATED 3/1/2023	TCS	EMW
1	2/22/2023	UPDATE PLANS PER BOARD ENGINEER'S REPORT DATED 1/20/2023	TCS	EMW
NO.	DATE	REVISIONS	BY	CHECKED
PROJECT NO.		DRAWING		

NORTH POTTER PARTNERS LLC
MAJOR SUBDIVISION
LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NJ

CONSTRUCTION DETAILS AND SOIL EROSION AND SEDIMENT CONTROL DETAILS AND NOTES

E.M. Waterbury & Associates, P.A.
ENGINEERING • PLANNING • LAND USE & DEVELOPMENT
530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6778 Email:ermwsoc@aol.com

Digitally signed by Elizabeth Waterbury
Date: 2023.03.15 09:54:49 -04'00'
ELIZABETH M. WATERBURY, P.E., P.P.
LICENSED PROFESSIONAL ENGINEER AND PLANNER
STATE OF NJ LICENSE No. 31845 (P.E.) 03591 (P.P.)

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OF 6

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STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

DEFINITION
ESTABLISHMENT OF PERMANENT VEGETATIVE COVER ON EXPOSED SOILS WHERE PERENNIAL VEGETATION IS NEEDED FOR LONG TERM PROTECTION.

PURPOSE
TO PERMANENTLY STABILIZE THE SOIL, ASSURING CONSERVATION OF SOIL AND WATER, AND TO ENHANCE THE ENVIRONMENT.

WHERE APPLICABLE
SLOWS THE OVERLAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOIL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

METHODS AND MATERIALS
ON EXPOSED SOILS THAT HAVE A POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

I. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.

B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.

C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNLESS OTHERWISE SPECIFIED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.

D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

II. SEEDBED PREPARATION
A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE SERVICES AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES (HTTP://ALIAS.RUTGERS.EDU/COEXT/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE (OR EQUIVALENT) OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.

B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARRROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARRROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.

C. HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OR LESS OR CONTAINING HIGH SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEED STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

III. SEEDING
A. SELECT A MIXTURE FROM TABLE 4-3 OR USE A MIXTURE RECOMMENDED BY RUTGERS CO-OPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.

1. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. SEEDING RATES MAY BE ADJUSTED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING, ESTABLISHING PERMANENT VEGETATION MEANS SOIL VEGETATIVE COVER OF THE SEEDING MIXTURE FOR THE SEEDING AREA AND MOVED ONCE.

2. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES, GENERALLY 85°F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.

3. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 85°F. MANY GRASSES BECOME ACTIVE AT 65°F. SEE TABLE 4-3, MIXTURES 8-20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL-SEASON GRASSES.

B. SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1 TO 1 1/2 INCH BY RANKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/2 INCH DEEPER ON COARSE-TEXTURED SOIL.

C. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPABILITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER-MOUNTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

IV. MULCHING
MULCHING IS REQUIRED ON ALL SEEDING MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

A. STRAW OR HAY UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRUMPER IS USED TO APPLY MULCH-BINDER (TACKLING OR ADHESIVE AGENTS), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT ROT THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 50% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

B. ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS:

1. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.

2. MULCH NETTING - STAPLE PAPER, COTTON OR PLASTIC NETTINGS TO THE SOIL SURFACE USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.

3. CRUMPER (MULCH ANCHORING COUPLER TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMewhat LIKE A DISC HARRROW TO PUNCH OR CUT THE SURFACE OF THE BROADCAST AND FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.

4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.

APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH IN VALLEYS, AND AT CRESTS OF BANKS THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.

USE ONE OF THE FOLLOWING:

(1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPED EROSION OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE. SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.

(2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

PELLETIZED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDBED AREA AND WATERED, FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDING AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

IRRIGATION (WHERE FEASIBLE)
IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDLING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO THREE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

TOPDRESSING
SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A - SEEDBED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOPDRESSING IS MANDATORY. AN EXCEPTION MAY BE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE DEVELOPS. IN THAT INSTANCE, TOPDRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.

ESTABLISHING PERMANENT VEGETATIVE STABILIZATION
THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MAINTENANCE ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING, ESTABLISHING PERMANENT VEGETATION MEANS SOIL VEGETATIVE COVER OF THE SEEDING MIXTURE AND MOVED ONCE. NOTE THIS DESIGNATION OF MOVED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF. OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

TABLE 4-3 SEED MIXTURES

Table with columns: SEED MIXTURE, PLANTING RATE (POUNDS), PLANTING DATES, and REMARKS. Includes warm season and cool season seed mixtures.

TABLE 4-3 SEED MIXTURES (continued)

Table with columns: SEED MIXTURE, PLANTING RATE (POUNDS), PLANTING DATES, and REMARKS. Includes fine fescue blend and tall fescue mixtures.

Table with columns: SEED MIXTURE, PLANTING RATE (POUNDS), PLANTING DATES, and REMARKS. Includes hard fescue and creeping bentgrass mixtures.

Table with columns: SEED MIXTURE, PLANTING RATE (POUNDS), PLANTING DATES, and REMARKS. Includes Kentucky bluegrass and turf-type tall fescue mixtures.

Table with columns: SEED MIXTURE, PLANTING RATE (POUNDS), PLANTING DATES, and REMARKS. Includes hard fescue and creeping bentgrass mixtures.

Table with columns: SEED MIXTURE, PLANTING RATE (POUNDS), PLANTING DATES, and REMARKS. Includes hard fescue and creeping bentgrass mixtures.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION
DEFINITION
ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER ON SOILS EXPOSED FOR PERIODS OF TWO TO SIX MONTHS WHICH ARE NOT BEING CHOSEN FOR PERMANENT VEGETATION.

PURPOSE
TO TEMPORARILY STABILIZE THE SOIL AND REDUCE DAMAGE FROM WIND AND WATER EROSION UNTIL PERMANENT STABILIZATION IS ACCOMPLISHED.

WATER QUALITY ENHANCEMENT
PROVIDES TEMPORARY PROTECTION AGAINST THE IMPACTS OF WIND AND RAIN, SLOWS THE OVER LAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOIL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE
ON EXPOSED SOILS THAT HAVE THE POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

METHODS AND MATERIALS
I. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.

B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

II. SEEDBED PREPARATION
A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE WALKERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES.

B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARRROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARRROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.

C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.

D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.

III. SEEDING
A. SELECT SEED FROM RECOMMENDATIONS IN TABLE 2-2.

TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTH

Table with columns: SEED SELECTIONS, SEEDING RATES (POUNDS PER ACRE), OPTIMUM SEEDING DATE, and OPTIMUM SEED DEPTH (INCHES). Includes cool season grasses, warm season grasses, and pearl millet.

1. SEEDING RATE FOR WARM SEASON GRASS, SELECTIONS 3-7 SHALL BE ADJUSTED TO REFLECT THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY A GERMINATION TEST RESULT. NO ADJUSTMENT IS REQUIRED FOR COOL SEASON GRASSES.

2. MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR SEEDING AREA CAN BE IRRIGATED.

3. PLANT HARDINESS ZONE (SEE FIGURE 7-1, P. 7-4) THIS PROJECT IS IN ZONE 7A.

4. TWICE THE DEPTH FOR SANDY SOILS.

B. CONVENTIONAL SEEDING APPLIED SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1 TO 1 1/2 INCH BY RANKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/2 INCH DEEPER ON COARSE TEXTURED SOIL.

C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.

D. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPABILITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

IV. MULCHING
MULCHING IS REQUIRED ON ALL SEEDING MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

A. STRAW OR HAY UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRUMPER IS USED TO APPLY MULCH-BINDER (TACKLING OR ADHESIVE AGENTS), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT ROT THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH IN VALLEYS, AND AT CRESTS OF BANKS THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.

USE ONE OF THE FOLLOWING:

(1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPED EROSION OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE. SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.

(2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

(1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPED EROSION OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE. SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.

(2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

STABILIZATION WITH MULCH ONLY
DEFINITION
STABILIZING EXPOSED SOILS WITH NON-VEGETATIVE MATERIALS EXPOSED FOR PERIODS LONGER THAN 14 DAYS.

PURPOSE
TO PROTECT EXPOSED SOIL SURFACES FROM EROSION DAMAGE AND TO REDUCE OFFSITE ENVIRONMENTAL DAMAGE.

WHERE APPLICABLE
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO EROSION, WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION-RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.

METHODS AND MATERIALS
I. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.

B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

II. PROTECTIVE MATERIALS
A. UNROTTED SMALL-GRAIN STRAW AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS OR NETTING MAY BE USED. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION. I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.

C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.

D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.

E. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSDOR, COTTON, OR PLASTIC MAY BE USED.

F. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.

G. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.

III. MULCH ANCHORING
SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.

A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.

B. MULCH NETTINGS - STAPLE PAPER, COTTON OR PLASTIC NETTINGS OVER MULCH USE DEGRADABLE NETTING IN AREAS TO BE MOVED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.

C. CRUMPER (MULCH ANCHORING COUPLER TOOL) - A TRACTOR-DRAWN IMPLEMENT, ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES ON SLOPING LAND. THE OPERATION SHOULD BE ON THE CONTOUR.

D. LIQUID MULCH-BINDERS - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

USE ONE OF THE FOLLOWING:

(1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPED EROSION OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE. SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.

(2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

Revision table with columns: NO., DATE, REVISIONS, TCS, EMW, BY, CHECKED.

PROJECT NO. DRAWING: NORTH POTTER PARTNERS LLC MAJOR SUBDIVISION

LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NJ

SOIL EROSION SCHEDULES AND NOTES

E.M. Waterbury & Associates, P.A. ENGINEERING • PLANNING • LAND USE & DEVELOPMENT

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ELIZABETH M. WATERBURY, P.E., P.L.P. LICENSED PROFESSIONAL ENGINEER AND PLANNER STATE OF NJ LICENSE No. 31645 (P.E.) 03591 (P.P.)

12/20/2023 SHEET 6 OF 6

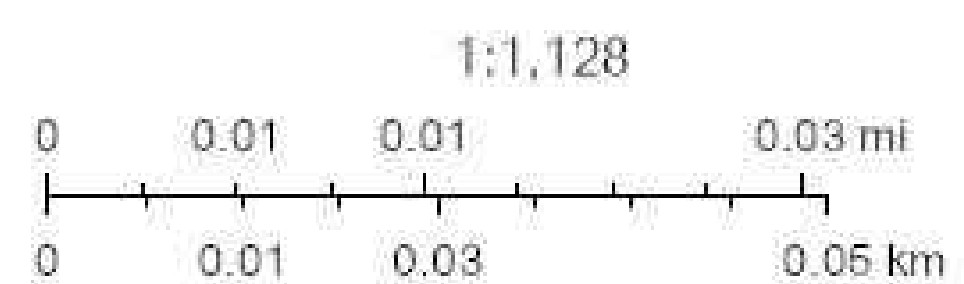
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**NORTH POTTER PROPERTIES LLC
EXISTING CONDITIONS EXHIBIT
MONMOUTH COUNTY AERIAL- 2022 NEAR MAP BASE**



3/3/2023, 8:30:34 AM

- Parcels (cadastral non-survey)
- Building Footprints
- Municipal Boundaries
- Monmouth County Boundary



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E.M. Waterbury & Associates PA
March 30, 2023*

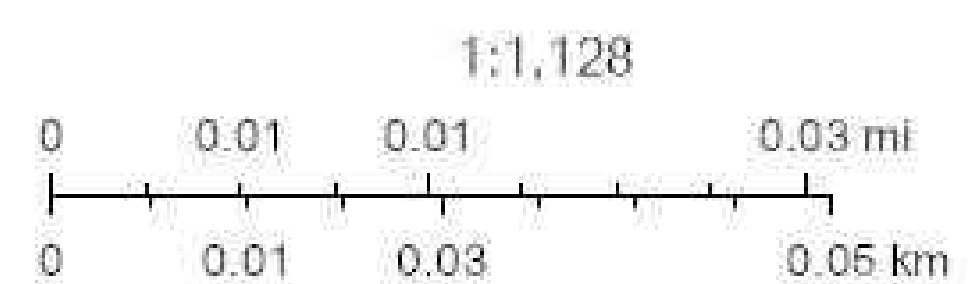
Monmouth County Open Data

**NORTH POTTER PROPERTIES LLC
PROPOSED CONDITIONS OVERLAY EXHIBIT
MONMOUTH COUNTY AERIAL- 2022 NEAR MAP BASE**



3/3/2023, 8:30:34 AM

- Parcels (cadastral non-survey)
- Building Footprints
- Municipal Boundaries
- Monmouth County Boundary



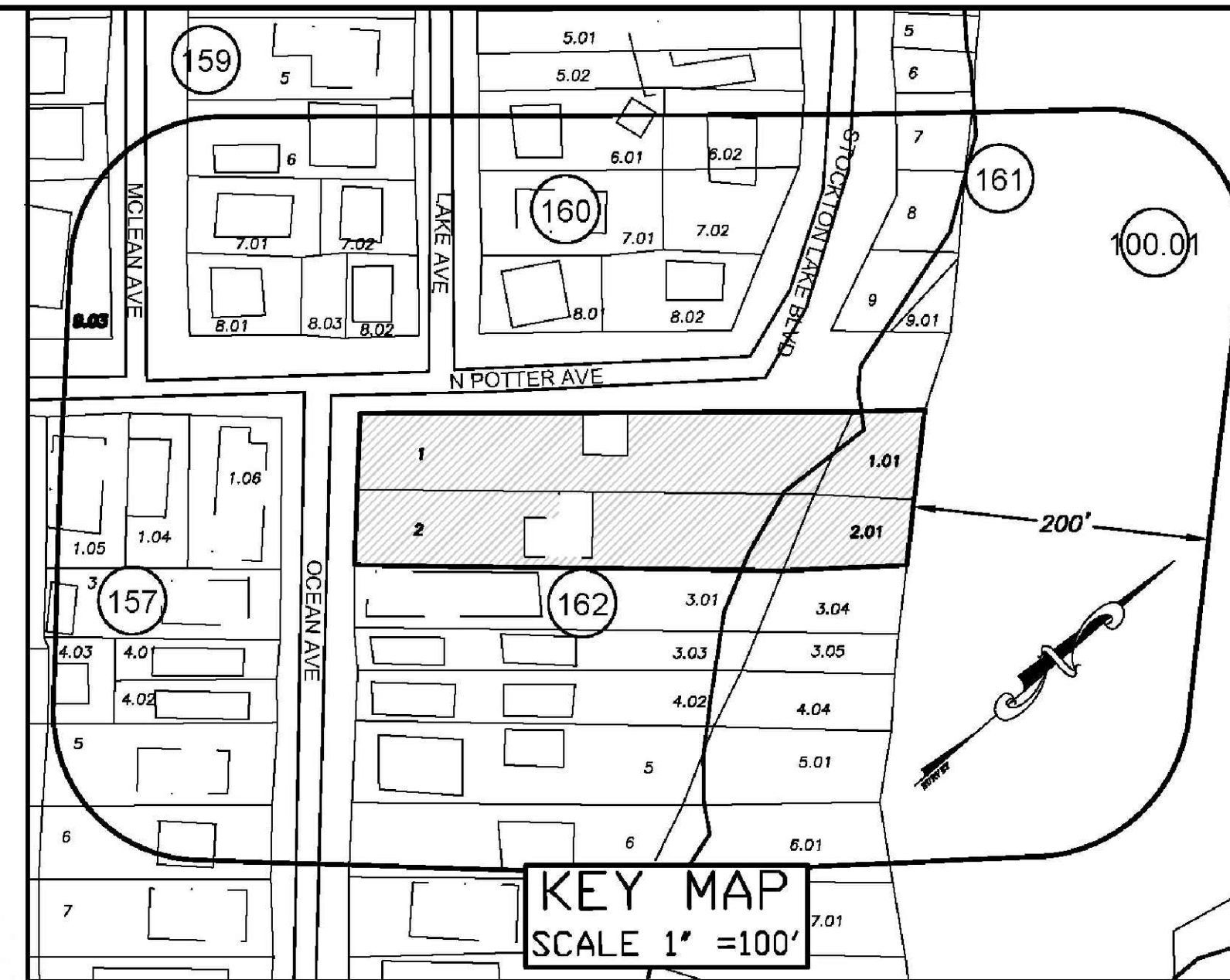
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*EXHIBIT PREPARED BY: Elizabeth M. Waterbury, PE, PP, CME
E.M. Waterbury & Associates PA
March 30, 2023*

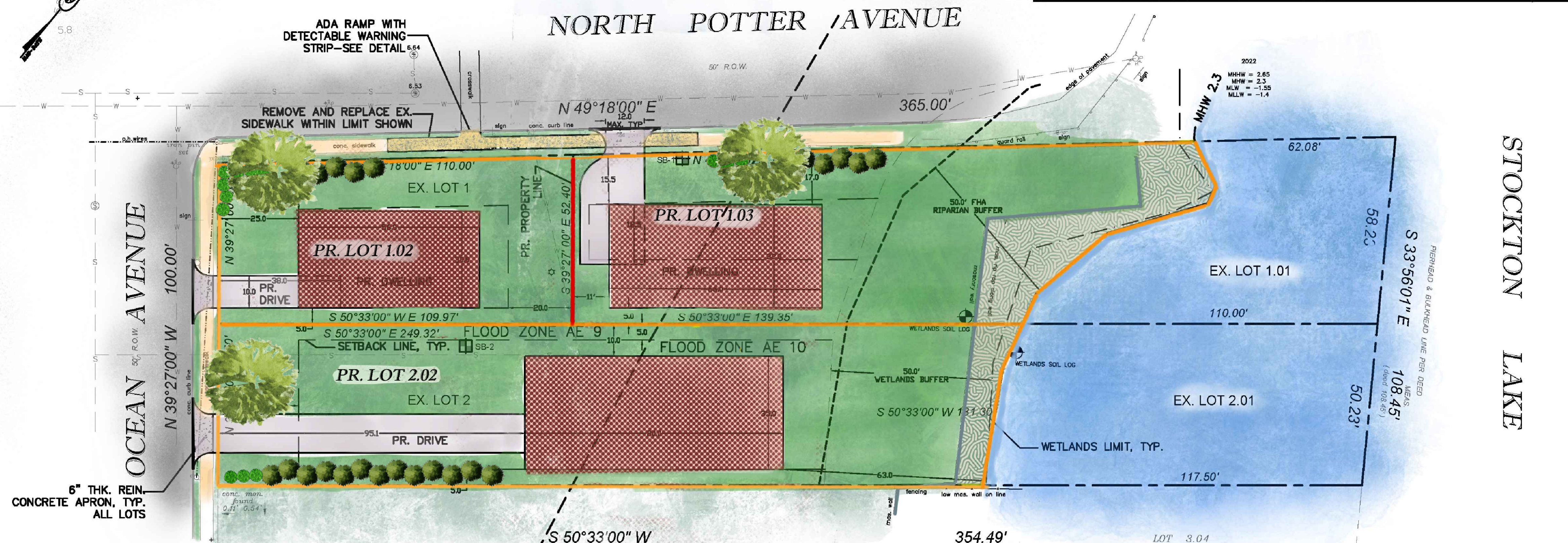
Monmouth County Open Data

GENERAL NOTES:

1. DWELLING AND DRIVEWAY LOCATIONS AS SHOWN ARE CONCEPTUAL. ACTUAL MAY VARY.
2. PROPOSED DRIVES TO HAVE NEW DEPRESSED CURB AND CONCRETE APRONS PROVIDED FOR THE NEW DRIVE OPENINGS. EXISTING CURB AND SIDEWALK ARE TO BE REMOVED TO NEAREST JOINT.
3. CURB RETURNS AT ALL DRIVES ARE TO BE A MINIMUM 5 FEET.
4. SUBDIVISION IS TO BE FILED BY DEED.
5. PARKING SHOWN OVERLAPPING DWELLING FOOTPRINT IS PROPOSED BENEATH STRUCTURE.
6. THE SITE IS TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION 35-7.8 OF THE BOROUGH ORDINANCE. EACH LOT IS TO CONTAIN THE FOLLOWING:
 - a. An enclosed storage area, having a minimum of 80 square feet and 400 cubic feet, shall be provided for the storage of household personal items. The storage area may be an interior utility closet, interior storage room, attached garage, unattached garage or an exterior shed.
 - b. An exterior deck, porch, patio or similar facility, having a minimum area of 80 square feet or 10% of the first floor area of the dwelling, whichever is greater, shall be provided for exterior living purposes. Front yard decks and porches are encouraged to fulfill this requirement.
 - c. All areas in the front yard that are not driveway shall be either shrubbery or lawn. Driveways to meet the requirements of section 35-7.8d.



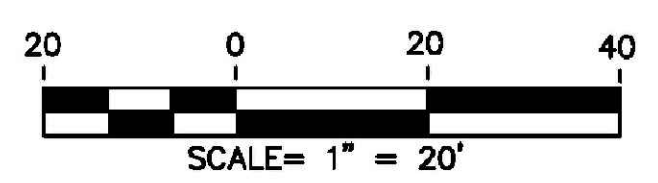
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
157	1.04		2	MANO, TINA L PO BOX 514 MANASQUAN, NJ	50 POTTER AVE N	
157	1.05		2	O'CONNOR, EDWIN J & JANET M 11 BARI'AN AVE SOUTH AMBOY, NJ	46 POTTER AVE N	
157	1.06		2	GUTIERREZ, ANTHONY & MICHELE K 56 POTTER AVE N MANASQUAN, NJ	56 POTTER AVE N	
157	3		2	KEEMAN, HAROLD E & MARY PATRICIA 11 OCEAN AVE MANASQUAN, NJ	11 OCEAN AVE	
157	4.01		2	LUPINSKI, MARIE 97 GRETA PL EMERSON, NJ	13 OCEAN AVE	
157	4.02		2	CURTISS, JANICE BLAND, EUGENE ETAL 15 OCEAN AVE MANASQUAN, NJ	15 OCEAN AVE	
157	4.03		2	LUPINSKI, MARIE 13 1/2 OCEAN AVE MANASQUAN, NJ	13-1/2 OCEAN AVE	
157	5		2	PULEO, JOSEPH S & CAROLYN A 7 HOUSEL ROAD WHITEHOUSE STATION, NJ	17 OCEAN AVE	
158	9.03		2	TULLY, THOMAS ROBERT & GLASHOW, COU 167 MCLEAN AVE MANASQUAN, NJ	167 MCLEAN AVE	
159	6		2	GANTER, THOMAS 161 LAKE AVE MANASQUAN, NJ	161 LAKE AVE	
159	7.01		2	MARRON, EILEEN M 168 MCLEAN AVE MANASQUAN, NJ	168 MCLEAN AVE	
159	7.02		2	GERSTENHABER, CHARNA L 251 E 32ND ST APT 6A NEW YORK, NY	169 LAKE AVE	
159	8.01		2	LYON-VAIDEN REVOCABLE FAMILY TRUST 1640 DRYDEN WAY CROFTON MD	51 POTTER AVE N	
159	8.02		2	FERTIG, JOHN W JR & JANE E 53 POTTER AVE N MANASQUAN, NJ	55 POTTER AVE N	
159	8.03		2	HINGSTON, WALTER 52 N POTTER AVE MANASQUAN, NJ	53 POTTER AVE N	
160	6.01		2	MARONE, MICHAEL J & VERONICA A 162 LAKE AVE MANASQUAN, NJ	162 LAKE AVE	
160	6.02		1	SWIECINSKI, JILL & DAVID 227 STOCKTON LAKE BLVD MANASQUAN NJ	227 STOCKTON LAKE BLVD	7.02
160	7.01		2	ROBERTSON, DEBRA A 164 LAKE AVE MANASQUAN, NJ	164 LAKE AVE	
160	8.01		2	SUONFORTE, JEFFREY J & JENNIFER C 61 POTTER AVE N MANASQUAN NJ	61 POTTER AVE N	
160	8.02		2	TIELMAN, MENNO & DEBRA K 67 POTTER AVE N MANASQUAN, NJ	67 POTTER AVE N	
161	7		1	SWIECINSKI, JILL 227 STOCKTON LAKE BLVD MANASQUAN NJ	STOCKTON LAKE BLVD	8
161	9		1	TIELMAN, MENNO & DEBRA K 67 POTTER AVE N MANASQUAN, NJ	STOCKTON LAKE BLVD	9.01
162	1		2	MOLTENI, EDWARD A & BARBARA J 2384 SYCAMORE ST WALL, NJ	66 POTTER AVE N	1.01, 2.2.01
162	3.01		2	STILES, SANDRA E 10 OCEAN AVE MANASQUAN, NJ	10 OCEAN AVE	3.04
162	3.03		2	OCEAN AVENUE, LLC C/O STILES 10 OCEAN AVE VANASQUAN, NJ	12-14 OCEAN AVE	3.05
162	4.02		2	16 OCEAN AVENUE REAL ESTATE, LLC 26 OCEAN AVENUE VANASQUAN, NJ	16-16-1/2 OCEAN AVE	4.04
162	5		2	MCLAUGHLIN, JOHN A & JOAN M 680 BELGROVE DR KEARNY, NJ	18-18-1/2 OCEAN AVE	5.01
162	6		2	GABELMANN, H ALAN & DONNA 22 OCEAN AVE MANASQUAN NJ	22 OCEAN AVE	6.01



LEGEND

- PROPOSED BUILDING
- PROPOSED ROOFED PORCH
- PROPOSED CONCRETE SIDEWALK 4" THK.
- EXISTING LOT LINES
- EXISTING BUILDINGS
- TBR TO BE REMOVED
- BUILDING SET BACK LINE
- EXISTING CURB LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- SOIL BORING LOCATION
- PROPOSED SHADE TREE
- PROPOSED SHRUBBERY

SUBDIVISION NOTE:
PROPOSED LOT LAYOUT IN ACCORDANCE WITH FINAL PLAT FOR MAJOR SUBDIVISION PREPARED BY PAUL K. LYNCH DATED DECEMBER 9, 2022.



ZONING SCHEDULE - R2 ZONE

DESCRIPTION	REQUIRED	LOT 1.02	LOT 1.03	LOT 2.02
MIN. LOT AREA (SF)	5,000 SF	5631 SF	9274.00 SF	12,090.00 SF
MIN. LOT FRONTAGE (FT)	50'	50.00' (Ocean)	192.92'	50.00'
		110.00' (N. Potter)		
MIN SETBACK				
FRONT	25'	25' (Ocean)	15.5'(note 1)	25'(Ocean)
SIDE (INTERIOR LOT)	5'		11'	5'
SIDE (CORNER LOT)	5' / 15'	5'/15'		
REAR	20'	20'	5'	> 20'
MAX. BUILDING COVERAGE	30%	30% Max	30% Max	30% Max
MAX. LOT COVERAGE	45%	45% Max	45% Max.	45% Max.
MAX. BUILDING HEIGHT	38'	38' Max.	36'2" * Max	38' Max.
	33'			
MAX. STORIES	2.5	2.5	2.5	2.5
NO. PARKING SPACES	PER RSIS -2.0 for Up to 4 bedrooms	2.0	2.0	3.0+

Note 1: Average setback for N. Potter = 15.5. See Survey Report dated 11/2/2022 prepared by Paul K. Lynch PLS. for calculation
* VARIANCE REQUESTED

NO.	DATE	REVISIONS	BY	CHECKED
PROJECT NO: NORTH POTTER PARTNERS LLC				
MAJOR SUBDIVISION				
LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162				
BOROUGH OF MANASQUAN				
MONMOUTH COUNTY, NJ				
RENDERING EXHIBIT				
E.M. Waterbury & Associates, P.A.				
ENGINEERING • PLANNING • LAND USE & DEVELOPMENT				
530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6778 Email:ermwssoc@aol.com				
Digitally signed by Elizabeth Waterbury				3/31/2023
Date: 2023.03.31				DATE
09:09:40 -04'00'				SHEET 1
				OF 1

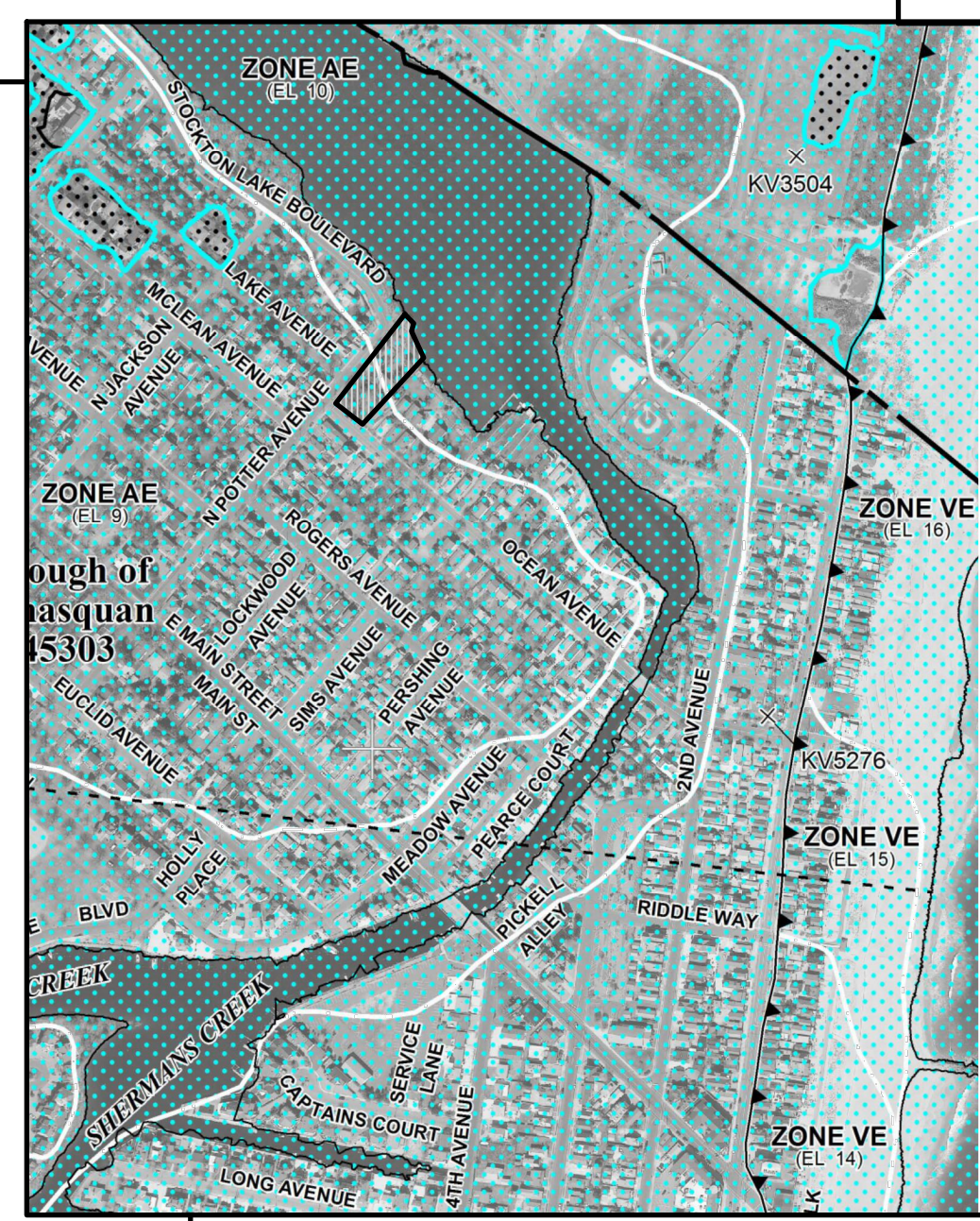
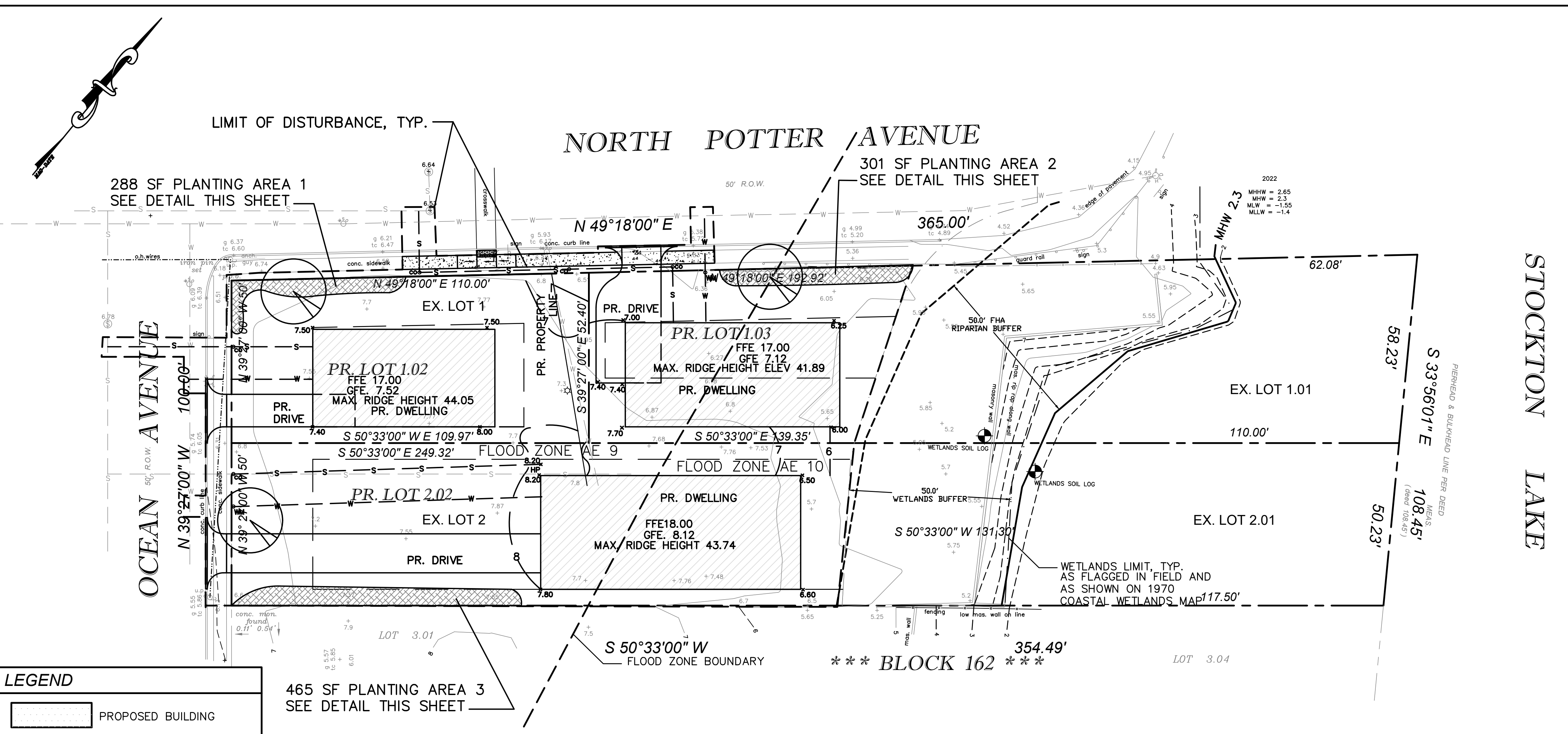
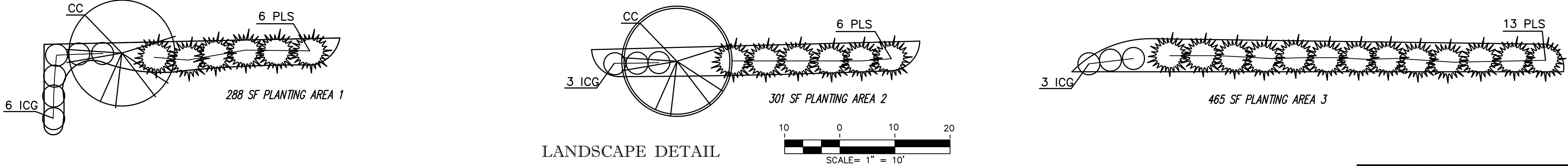
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PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER	TYPE	SPACING	QUANTITY
CC	CERCIS CANADENSIS	EASTERN REDBUD	2.5"				3*
PLS	PRUNUS LAUROCARASUS SHIPKAENSIS	SHIPKA CHERRY LAUREL	5'-6"		#5 CAN	5' O.C.	25
ICG	ILEX GLABRA COMPACTA	COMPACT INKBERRY	18"-24"		#3 CAN	4' O.C.	12

* INCLUDES SHADE TREE SHOWN ON PLAN BUT NOT PROVIDED IN DETAILED PLANTING BEDS

NOTE 1: SHADE TREES TO BE PRE APPROVED LIST FOR THE BOROUGH AND AS REQUIRED BY SHADE TREE COMMISSION.
 NOTE 2: ALL PLANTINGS SHOWN CAN BE SUBSTITUTED WITH AN APPROVED NATIVE OR EQUAL
 NOTE 3: PLANTINGS LOCATED ON THE CORNER OF OCEAN AND N. POTTER AVENUES ARE TO BE MAINTAINED AT HEIGHT REQUIRED BY ORDINANCE.
 NOTE 4: LOCATION OF SHADE TREES SHOWN MAY SHIFT DEPENDING ON FINAL PLOT PLAN.



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0456G

FIRM
FLOOD INSURANCE RATE MAP

MONMOUTH COUNTY,
NEW JERSEY
(ALL JURISDICTIONS)

PANEL 456 OF 457
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
WELLS BOROUGH OF	34000	0450	0
MANASSAS BOROUGH OF	34002	0450	0
SEA GIRT BOROUGH OF	34003	0450	0
WALL TOWNSHIP OF	34033	0450	0

PRELIMINARY
JANUARY 31, 2014

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
34025C0456G

MAP REVISED

Federal Emergency Management Agency

SUBDIVISION NOTE:
 PROPOSED LOT LAYOUT IN ACCORDANCE WITH FINAL PLAT FOR MAJOR SUBDIVISION PREPARED BY PAUL K. LYNCH DATED DECEMBER 9, 2022.

SOIL EROSION SEDIMENT CONTROL NOTES

1. TOTAL AREA OF DISTURBANCE = 2012 SF WITHIN ROW PAVEMENT
 = 19880 SF OUTSIDE OF ROADWAY
 = 21892 SF TOTAL

NO.	DATE	REVISIONS	BY	CHECKED

PROJECT NO: **NORTH POTTER PARTNERS LLC**

MAJOR SUBDIVISION
 LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NJ

NJDEP PERMIT PLAN
 LAYOUT AND GRADING PLAN

E.M. Waterbury & Associates, P.A.
 ENGINEERING • PLANNING • LAND USE & DEVELOPMENT
 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6778 Email:emwsoc@aol.com

Digitally signed by
Elizabeth Waterbury 3/16/2023
 Date: 2023.03.16
 11:18:42 -04'00'

ELIZABETH M. WATERBURY, P.E., P.P.
 LICENSED PROFESSIONAL ENGINEER AND PLANNER
 STATE OF NJ LICENSE No. 31645 (P.E.) 03591 (P.P.)

SHEET
 2
 OF 3

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LEGEND

	PROPOSED BUILDING
	PROPOSED ROOFED PORCH
	PROPOSED CONCRETE SIDEWALK 4" THK.
	EXISTING LOT LINES
	EXISTING BUILDINGS
	TO BE REMOVED
	BUILDING SET BACK LINE
	EXISTING CURB LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING SEWER LINE
	FFE FINISH FLOOR ELEV.
	GFE GROUND LEVEL ELEV.

NJDEP STORMWATER MANAGEMENT MAJOR DEVELOPMENT DETERMINATION NOTES:

The NJDEP requires projects meeting their definition of a 'Major Development' provide water quantity and possibly water quality mitigation. The thresholds which would define the site as a Major Development per NJDEP Stormwater Best Management Practices Manual are:

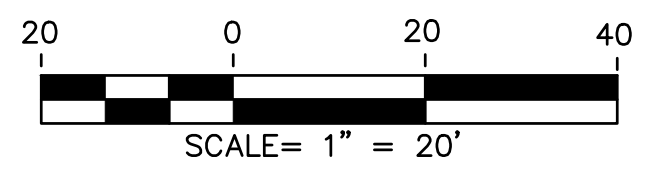
- The site increases the Motor Vehicle Surface $\geq \frac{1}{4}$ acre
- The site increases Total Lot Coverage $\geq \frac{1}{4}$ acre
- The project proposes to disturbance ≥ 1 acre of land.

a. **Motor Vehicle Surface** -The total coverage of the existing Motor Vehicle Surface (existing drive) is 966 SF. The total proposed Motor Vehicle Surfaces for the three drives as shown on the plan is 1784 SF. The additional motor vehicle surface area proposed is 1784 - 966 = 818 SF. This substantially is less than the $\frac{1}{4}$ acre threshold.

b. **Total Impervious Coverage** -The total existing coverage of the whole site is 4002 sf. The total propped coverage as shown is As shown on the summary calculation on sheet 3, the total change in coverage as proposed is 4584.3. However the NJDEP BMP requires we compare the change to the maximum permitted by ordinance. The maximum coverage permitted by ordinance is 45% or 12159 SF. The maximum change in coverage permitted by ordinance 12159 SF -4002 SF= 8157 SF. This is substantially less than the $\frac{1}{4}$ acre threshold.

c. **Limit of Disturbance** -The proposed disturbance is 21892 SF which is substantially less than the 1-acre threshold.

Therefore, the proposed project is not a Major Development as defined by the NJDEP and water quality and quantity mitigation is not required.



PAUL K. LYNCH
LAND SURVEYORS
 P.O. BOX 1453
WALL, NEW JERSEY 07719
 PHONE (732) 681-4035
 EMAIL- pklynchs @ gmail.com

*** SURVEYORS REPORT 571022162-1 ***

November 2, 2022

North Potter Partners LLC
 66 North Potter Avenue
 Manasquan, N.J. 08736

To Whom It May Concern:


In regard to front setbacks on the south side of North Potter Avenue
 Manasquan Borough, N.J. within 200' of Lot 1 Block 162 as verified by zoning officer R.
 Furey
 the following measurements have been taken:

The following are foundation or framing setbacks with roof over from the s'ly r.o.w. line
 of North Potter Ave.:

Lot 1.04 Block 157	16.0'
Lot 1.05 Block 157	15.16'
Lot 47 Block 157	15.33'
Average	15.50'

If you have any questions or clarifications please call my office.

Sincerely yours,


 Paul K. Lynch LS



PK Lynch <pklynchs@gmail.com>

Verifying proposed tax lot numbers at Ocean x Potter subdivison

Assessor, Tax <taxassessor@manasquan-nj.gov>
To: PK Lynch <pklynchs@gmail.com>

Fri, Oct 21, 2022 at 9:34 AM

Hi Paul,

Based on the subdivision the following would apply:

Block 162 Lot 1.02 - 4 Ocean Ave.

Block 162 Lot 1.03 (additional Lot 1.01 riparian) - 6 Ocean Ave.

Block 162 Lot 2.02 (additional Lot 2.01 riparian) - 8 Ocean Ave.

If you have any other questions, please feel free to contact me.

Regards,
Robyn

[Quoted text hidden]

—
Robyn Palughi, Tax Assessor
732-223-2292, Ext 238

MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

HALL OF RECORDS ANNEX
 ONE EAST MAIN STREET
 FREEHOLD, NEW JERSEY 07728-1255
 DevelopmentReview@co.monmouth.nj.us
 732-431-7460

Subdivision Action

Our File # MQ391

This is to inform the Manasquan Borough Planning Board

that the Subdivision Application North Potters Partners, LLC

known as North Potters Partners, LLC Major Subdivision

located in Tax Map Block 162 Lot(s) 1.01,1.02,1.03,
2.01,2.02

Owned by: Same as above Drawn by: E.M. Waterbury & Associates PA

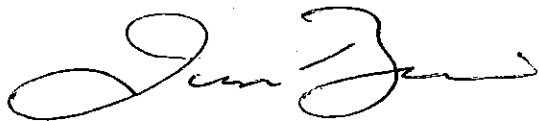
and dated 12/20/2022, was received in this office on 2/14/2023. On 2/27/2023

the following action was taken by the: Development Review Committee Planning Director

Exempt from Approval

If disapproved, the reasons listed below or on the attached sheet must be rectified before approval will be given. If conditionally approved, the conditions listed below or on the attached sheet must be met before Final Approval will be given. This action does not release the applicant from the requirement of obtaining a Road Opening Permit from the Monmouth County Highway Department prior to commencing any work within the right-of-way of a County Highway or before doing any work that affects a county bridge, or from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan).

Note: County review is made only on items covered by statutory authority.



Joseph Barris, P.P., A.I.C.P., C.F.M.
 Director of Planning
 For the Development Review Committee

c: E.M. Waterbury & Associates PA
 Jeffrey Beekman, Esq.
 Joseph Ettore, PE

ZONING SCHEDULE - R2 ZONE

DESCRIPTION	REQUIRED	LOT 1.02	LOT 1.03	LOT 1.04	LOT 1.05
MIN. LOT AREA (SF)	5,000 SF	5027 SF	5081 SF	5137 SF	11750 SF
MIN. LOT FRONTAGE (FT)	50'	50.00' (Ocean)	50.00'	50.00'	152.88'
		100.00' (N. Potter)			
MIN SETBACK					
FRONT	25'	25' (Ocean)	15.5'(note 1)	15.5'(note1)	15.5'(note1)
SIDE (INTERIOR LOT)	5'	5'	5'	5'	5'
SIDE (CORNER LOT)	5' / 15'	5'/15'			
REAR	20'	20'	20'	20'	20'
MAX. BUILDING COVERAGE	30%	30% Max	30% Max	30% Max	30% Max
MAX. LOT COVERAGE	45%	45% Max	45% Max.	45% Max.	45% Max.
MAX. BUILDING HEIGHT	38'	38' Max.	38' Max.	38' Max.	38' Max.
MAX. STORIES	2.5	2.5	2.5	2.5	2.5
NO. PARKING SPACES	PER RSIS -2.0	2.0	2.0	2.0	3.0
	for Up to 4 bedrooms				
	PER RSIS -3.0				
	for Up to 5 bedrooms				

Note 1: Average setback for N. Potter = 15.5. See Survey Report dated 11/2/2022 prepare by Paul K. Lynch PLS. for calculation

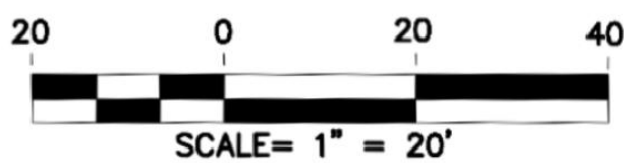


STOCKTON LAKE

LEGEND

- PROPOSED BUILDING
- PROPOSED ROOFED PORCH
- PROPOSED CONCRETE SIDEWALK 4" THK.
- EXISTING LOT LINES
- EXISTING BUILDINGS
- TBR TO BE REMOVED
- BUILDING SET BACK LINE
- EXISTING CURB LINE
- W EXISTING WATER LINE
- GAS EXISTING GAS LINE
- SS EXISTING SEWER LINE

*** BLOCK 162 ***



NO.	DATE	REVISIONS	BY	CHECKED
PROJECT NO:				
<p>NORTH POTTER PARTNERS LLC MAJOR SUBDIVISION LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NJ</p>				
<p>4 - LOT CONCEPT B LAYOUT AND DIMENSIONING PLAN</p>				
<p>E.M. Waterbury & Associates, P.A. ENGINEERING • PLANNING • LAND USE & DEVELOPMENT 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6778 Email:ermssoc@aol.com</p>				
		Digitally signed by Elizabeth Waterbury Date: 2023.03.31 09:08:53 -04'00'		
				3/30/2023 DATE
				SHEET 1 OF 1

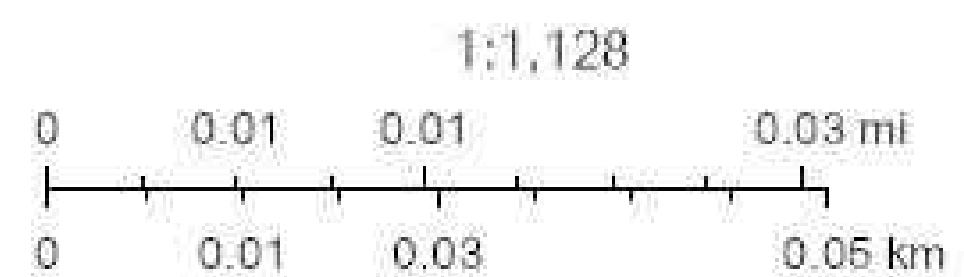
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NORTH POTTER PROPERTIES LLC 4-LOT CONCEPT B OVERLAY EXHIBIT MONMOUTH COUNTY AERIAL- 2022 NEAR MAP BASE



3/3/2023, 8:30:34 AM

- Parcels (cadastral non-survey)
- Building Footprints
- Municipal Boundaries
- Monmouth County Boundary



Esri Community Maps Contributors, Monmouth County NJ GIS, New Jersey Office of GIS, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

*EXHIBIT PREPARED BY: Elizabeth M. Waterbury, PE, PP, CME
E.M. Waterbury & Associates PA
March 30, 2023*

Monmouth County Open Data

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

March 7, 2023

North Potter Partners, LLC
207 Ludlow Avenue
Spring Lake, NJ 07762

Re: Block: 162 Lot: 1, 2, 1.01, 2.01 Zone: R-2
66 North Potter Avenue

Dear or Madam:

On this date we reviewed your revised application for the following project.

Remove all of the buildings and structures on the property and subdivide Block: 162
Lots: 1, 2, 1.01, 1.02 into four conforming lots in R-2 Zone.

Application denied for the following reason(s):

Section 32-8.1 – Requires Planning Board approval for the proposed subdivision.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer



BOROUGH OF MANASQUAN ZONING PERMIT APPLICATION

DATE RECEIVED _____

REQUIRED DOCUMENTATION:

- ACCURATE SURVEY OF THE PROPERTY TO SCALE
- AFFIDAVIT RE: ACCURACY OF SURVEY
- APPLICATION MUST BE FULLY COMPLETED & SIGNED
- SITE PLAN FOR THE PROPOSED PROJECT
- BUILDING OR CONCEPTUAL PLANS FOR THE PROPOSED PROJECT
- EMAIL MUST BE PROVIDED

FEE: \$ _____

CASH/CHECK# _____

POOL	\$100.00
ADDITION 500sf or less Residential	\$125.00
ADDITION 500sf or more Residential	\$150.00
NEW HOME	\$225.00
ADDITION OR NEW COMMERCIAL	\$250.00
REVIEW MINOR SUBDIVISION	\$250.00
REVIEW MAJOR SUBDIVISION	\$325.00
REVIEW SITE PLAN	\$250.00
FLOOD ADMINISTRATION APPL	\$150.00

BLOCK 162 LOT 1/1.01 ZONE R-2
2/2.01

WORK SITE ADDRESS: 66 North Potten Ave

OWNER/APPLICANT North Potten Partners LLC EMAIL REQ'D FRCTNCL2@gmail.com

ADDRESS 207 Red Horse Ave Spring House NJ 07762

TEL: HOME _____ CELL 908-309-4325

PRESENT USE: SINGLE FAMILY MULTI FAMILY _____ COMMERCIAL _____ OTHER _____

EXISTING ACCESSORY BUILDINGS: DETACHED GARAGE SHED _____ POOL _____ CABANA _____

DOG RUN _____ OTHER _____

PROPOSED USE: 4 Single Family Homes/Lots

DESCRIPTION OF PROPOSED WORK: _____

4 Single Family Homes/Lots

PREVIOUS ZONING APPLICATION: YES NO _____ DATE 10/13/22 - 11/16/22 - 11/25/22

BRIEF DESCRIPTION: 3 Single Family Homes/Lots

9.1.21

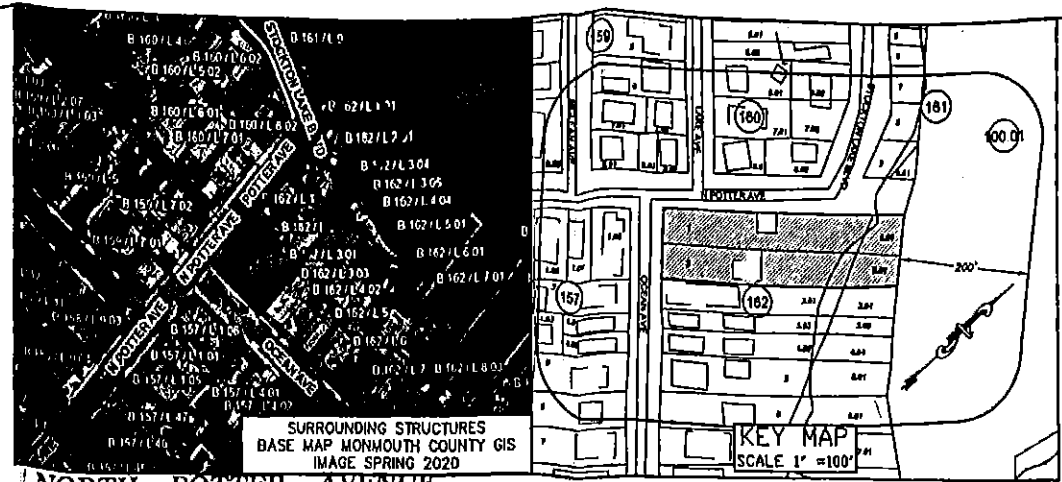
Zoning Schedule - R-2 Zone Block 162 lots 1, 101/2 2.01

Description	Required	Lot 1	Lot 2	Lot 3	Lot 4
min lot Area (sq Ft)	5000	5000+	5000+	5000+	12020
min lot Frontage (Ft)	50'	50' (N Potted) 100' (Ocean)	50'	50'	150'
min set Backs					
Front	25'	15.5' Note 1	15.5' Note 1	15.5' Note 1	15.5' Note 1
Side (Interior lots)	5'		5'	5'	5'
Side (corner lot)	5'/15'	5'/15'			
Rear	20'	720'	720'	720'	720'
max. Bldg. coverage	30%	30%	30%	30%	30%
max lot coverage	45%	45%	45%	45%	45%
max Bldg Height	38'	38'	38'	38'	38'
max stories	2 1/2	2 1/2	2 1/2	2 1/2	2 1/2
No. Parking spaces	2	2	2	2	2

Note 1 Average Set Back For North Potted = 15.5'

GENERAL NOTES

1. ALL STRUCTURES ABOVE AND BELOW GROUND TO BE REMOVED WITHIN THE LIMITS OF THE PROJECT.
2. PROJECT IS SHOWN IN FLOOD ZONES AE9 AND AE10 PER PRELIMINARY FEMA FLOOD MAP 34025C0456G DATED JANUARY 31, 2014.
3. WETLANDS SHOWN AS FLAGGED BY OTHERS. SEE SURVEY



GENERAL NOTES

1. UTILITY INFORMATION SHOWN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR WILL REQUEST THAT THEY MARK OUTS FROM THE RESPECTIVE COMPANIES AND VERIFY ALL INFORMATION TO BE EXCAVATED PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE REMOVED PRIOR TO CONSTRUCTION, TEST PITS WILL BE RUN BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING DEPTHS, MATERIALS AND SIZES. TEST PIT INFORMATION WILL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERFORM ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
2. THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS WILL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWING AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
3. ALL WORK WILL BE DONE IN COMPLIANCE WITH THE CURRENT CONSTRUCTION STANDARDS OF THE FOLLOWING WHERE APPLICABLE:
 - A. LATEST EDITION
 - B. CURRENT PREVAILING MUNICIPAL & COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS OR REQUIREMENTS.
 - D. NEW JERSEY ADMINISTRATIVE CODE TITLE 5 CHAPTER 21, RESIDENTIAL SITE IMPROVEMENT STANDARDS.
4. ONLY ORIGINAL PAPER COPIES FOR EACH PROJECT SHEET MARKED WITH AN ORIGINAL ENGINEER'S SEAL OF THE SIGNING ENGINEER'S SEAL SHALL BE VALID. AN ORIGINAL COPY OF THE PROJECT CONTAINING A VERIFIED AND CERTIFIED DIGITAL SEAL OF THE SIGNING ENGINEER'S SEAL SHALL BE CONSIDERED TO BE VALID COPIES.
5. THIS PLAN WAS PREPARED FOR SUBMISSION TO THE BOROUGH OF MANASQUAN FOR THE PURPOSES OF A ZONING AND BUILDING PERMIT. THE COPYING OR REUSE OF THIS DOCUMENT OR PORTIONS THEREOF FOR OTHER THAN THE ORIGINAL PROJECT OR FOR THE ORIGINAL INTENTION, WITHOUT THE WRITTEN PERMISSION OF EVALUATION & ASSOCIATES IS PROHIBITED.

PROJECT DESCRIPTION

APPLICANT/ OWNER: NORTH POTTER PARTNERS LLC
 LOCATION: LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162
 66 OCEAN AVE, MANASQUAN, NJ
 ZONE: R2
 EXISTING USE: 2 LOT SINGLE FAMILY UPLAND LOTS
 PROPOSED USE: 3 LOT SINGLE FAMILY UPLAND LOTS
 BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PREPARED BY PAUL K. LYNCH DATED APRIL 4, 2022

OWNER/APPLICANT

APPLICANT/ OWNER: NORTH POTTER PARTNERS LLC

UTILITIES

MONMOUTH COUNTY HIGHWAY DEPT 150 CENTER ST FREDERICK, NJ 07728-2465	MONMOUTH COUNTY PLANNING BOARD HALL OF RECORDS ANNEX 1 E MAIN ST, SECOND FLOOR FREDERICK, NJ 07728-22732	VERIZON P.O. BOX 4833 TRENTON, NJ 08650-4833
STATE OF NEW JERSEY COMMISSIONER OF TRANSPORTATION DEPARTMENT OF TRANSPORTATION 1024 PARKWAY AVENUE TRENTON, NJ 08625-2309	NJ AMERICAN WATER COMPANY CORPORATE SECRETARY 131 WOODCREST RD CHERRY HILL, NJ 08003	CABLE VISION 111 STEVANT AVE MCTPAC, NY 11714-3533
JCP&C - CUSTOMER SERVICE P.O. BOX 16001 READING PA 19612-8601	NJ NATURAL GAS CO 1415 WYCKOFF RD P.O. BOX 1278 VALLEY, NJ 07755-0001	

DATE	DESCRIPTION	BY	CHECKED
11/28/2023	UPDATE PROPOSED PLAN PER CLIENT - ADD BRIDGES DRAINAGE AND DETAIL SHEETS	REVSING	BY
11/15/23			

NORTH POTTER PARTNERS LLC

MAJOR SUBDIVISION
 LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NJ

EXISTING CONDITIONS AND DEMOLITION PLAN

E.M. Waterbury & Associates, P.A.

ENGINEERING • PLANNING • LAND USE & DEVELOPMENT
 630 Poplar Avenue, Suite 2C, Little Rock, AR 72209 • P: 501.221.8530 F: 501.221.8778 Email: emw@emwco.com

4 files
no variations

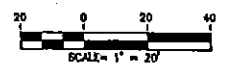
Elizabeth M. Waterbury
 ELIZABETH M. WATERBURY, PE, PP
 LICENSED PROFESSIONAL ENGINEER AND PLANNER
 STATE OF NEW JERSEY, LICENSE NO. 120000001

DATE
 11/28/2023

LEGEND

- PROPOSED BUILDING
- PROPOSED ROOFED PORCH
- PROPOSED CONCRETE SIDEWALK 4" THK
- EXISTING LOT LINES
- EXISTING BUILDINGS
- TO BE REMOVED
- BUILDING SET BACK LINE
- EXISTING CURB LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING TREES TO REMAIN
- TREES TO BE REMOVED

NOTES FROM REFERENCED SURVEY:
 THE LOTS AND PARCELS SURVEYED AND SHOWN HEREON ARE KNOWN AND DESIGNATED AS LOT 1 & 2 BLOCK 8 AS SAID LOTS ARE SHOWN ON A CERTAIN MAP ENTITLED "MAP OF THE ESTATE OF E.H. JACKSON, D-O-N, SITUATE IN THE BOROUGH OF MANASQUAN MONMOUTH CO. N.J." MADE BY WILLIAM SARGENT SURVEYOR POINT PLEASANT, N.J. DATED JULY 1888 AND FILED IN THE OFFICE OF THE COUNTY CLERK ON JUNE 25, 1889 IN CASE 71 SHEET 19. (INCLUDING RIPARIAN GRANT PER RECORD DEED)

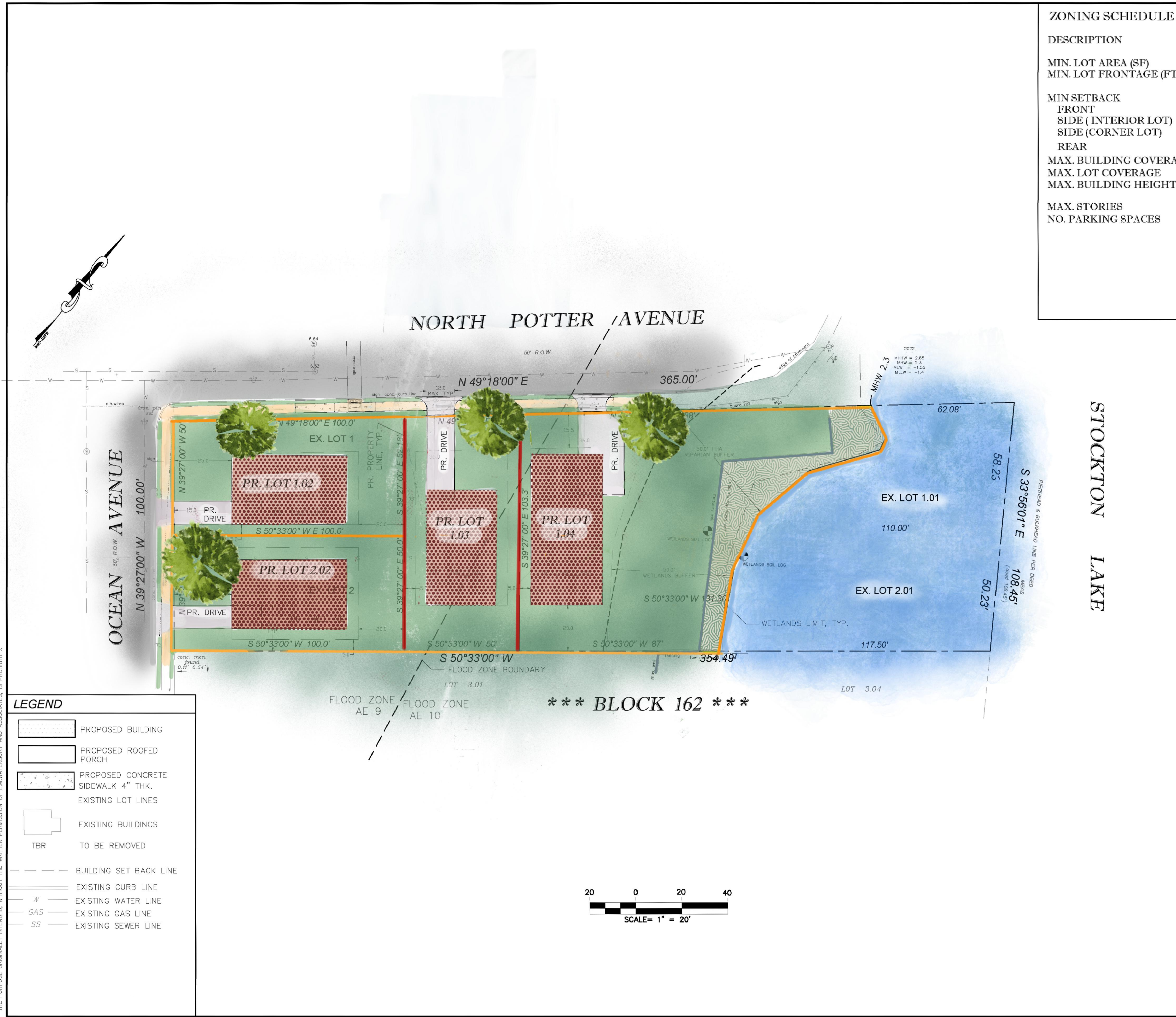


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ZONING SCHEDULE - R2 ZONE

DESCRIPTION	REQUIRED	LOT 1.02	LOT 1.03	LOT 1.04	LOT 2.02
MIN. LOT AREA (SF)	5,000 SF	5109 SF	5136 SF	11750 SF	5000 SF
MIN. LOT FRONTAGE (FT)	50'	50.00' (Ocean)	50.00'	152.88'	50.00'
		100.00' (N. Potter)			
MIN SETBACK					
FRONT	25'	25' (Ocean)	15.5'(note 1)	15.5'(note1)	25.0
SIDE (INTERIOR LOT)	5'	5'	5'	5'	5'
SIDE (CORNER LOT)	5' / 15'	5'/15'			
REAR	20'	20'	20'	20'	20'
MAX. BUILDING COVERAGE	30%	30% Max	30% Max	30% Max	30% Max
MAX. LOT COVERAGE	45%	45% Max	45% Max.	45% Max.	45% Max.
MAX. BUILDING HEIGHT	38'	38' Max.	38' Max.	38' Max.	38' Max.
MAX. STORIES	2.5	2.5	2.5	2.5	2.5
NO. PARKING SPACES	PER RSIS -2.0 for Up to 4 bedrooms	2.0	2.0	2.0	3.0
	PER RSIS -3.0 for Up to 5 bedrooms				

Note 1: Average setback for N. Potter = 15.5. See Survey Report dated 11/2/2022 prepare by Paul K. Lynch PLS. for calculation



NO.	DATE	REVISIONS	BY	CHECKED
PROJECT NO:				
NORTH POTTER PARTNERS LLC MAJOR SUBDIVISION LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NJ				
4 - LOT CONCEPT A LAYOUT AND DIMENSIONING PLAN				
E.M. Waterbury & Associates, P.A. ENGINEERING • PLANNING • LAND USE & DEVELOPMENT 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6778 Email:emwsoc@aol.com				
Digitally signed by <i>Elizabeth M. Waterbury</i> ELIZABETH M. WATERBURY, P.E., P.P. LICENSED PROFESSIONAL ENGINEER AND PLANNER STATE OF NJ LICENSE No. 31645 (P.E.) 03591 (P.P.)		Elizabeth Waterbury DATE: 2023.03.31 09:07:01 -04'00'		
3/30/2023 DATE				SHEET 1 OF 1

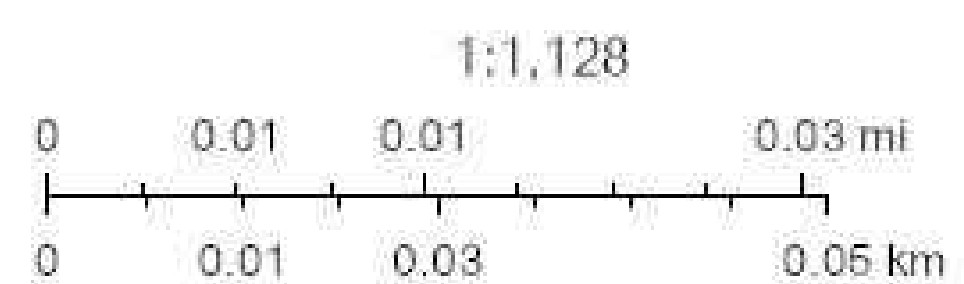
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**NORTH POTTER PROPERTIES LLC
4-LOT CONCEPT A OVERLAY EXHIBIT
MONMOUTH COUNTY AERIAL- 2022 NEAR MAP BASE**



3/3/2023, 8:30:34 AM

- Parcels (cadastral non-survey)
- Building Footprints
- Municipal Boundaries
- Monmouth County Boundary



Esri Community Maps Contributors, Monmouth County NJ GIS, New Jersey Office of GIS, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

*EXHIBIT PREPARED BY: Elizabeth M. Waterbury, PE, PP, CME
E.M. Waterbury & Associates PA
March 30, 2023*

Monmouth County Open Data

FREEHOLD SOIL CONSERVATION DISTRICT

(Serving Middlesex and Monmouth Counties)



4000 Kozloski Road, P.O. Box 5033
 Freehold, New Jersey 07728-5033
 Tel: (732) 683-8500
 Fax: (732) 683-9140
 E-mail: info@freeholdscd.org
 Website: www.freeholdsoil.org

NORTH POTTER PARTNERS LLC
 207 LUDLOW AVENUE
 SPRNG LAKE NJ 07762

3/22/23

Ref.#: 2023-0087
 Proj.: NORTH POTTER MAJOR SUBDIVISION
 Twp. : MANASQUAN
 Block: 162
 Lots : 1, 1.01, 2, 2.01

CERTIFICATION LETTER

Pursuant to the New Jersey Soil Erosion and Sediment Control Act; N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975 and as amended by C. 264, P.L. 77 and C. 459, P.L. 79, the Freehold Soil Conservation District hereby grants certification of the soil erosion and sediment control plan for the above referenced project, subject to the following:

1. That the applicant carries out all land disturbance activities in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey, promulgated by the State Soil Conservation Committee.
2. The owner/applicant must obtain a District issued Report of Compliance prior to the issuance of any Certificates of Occupancy by the municipality.
3. Changes in the certified plan relating to, or that will affect land disturbance on the site, must be submitted to the District office for certification.
4. The owner / applicant must notify the District forty-eight (48) hours prior to any land disturbing activity.

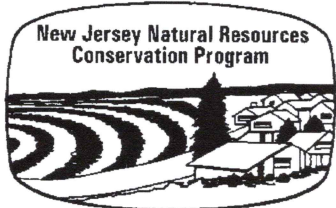
A copy of the certified plan must be kept on the job site at all times.

This plan certification is valid for 3 ½ years (**valid until 9/22/2026**), and is limited to the controls specified in this plan. It is not authorization to engage in proposed land use unless the municipality or other controlling agency has previously approved such use. Failure to comply with the above conditions may result in the issuance of a **STOP CONSTRUCTION ORDER**.

Sincerely,

Ines M. Zimmerman
 District Manager

cc: Planning Board
 Construction Official
 Municipal Engineer
 Applicant's Engineer



Freehold Soil Conservation District
4000 Kozloski Road / PO Box 5033
Freehold, NJ 07728-5033
Phone 732-683-8500 Fax 732-683-9140
www.freeholdsoil.org info@freeholdscd.org

APPLICATION FOR SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION


The enclosed soil erosion and sediment control plan and supporting information are submitted for certification pursuant to the Soil Erosion and Sediment Control Act, Chapter 251, P.L. 1975 as amended (NJSA 4:24-39 et. seq.) An application for certification of a soil erosion and sediment control plan shall include the items listed on the reverse side of this form.

Name of Project North Potters Partners LLC Major Subdivision		Project Location: Municipality Manasquan	
Project Street Address 66 North Potter Ave		Block 162	Lot 1,2,1.01 & 2.01
Project Owner(s) Name North Potter Partners LLC		Email garyciliberto@gmail.com	Phone # 732.280.0797 Fax # 732.280.0797
Project Owner(s) Mailing Address (No P.O. Box Numbers) 207 Ludlow Avenue.		City Spring Lake,	State New Jersey Zip 07762-0776
Total Area of Project (Acres) 0.62	Total Area or Land to be Disturbed (Acres) 21,712 SF or 0.498 ac.	No. Dwelling or other Units 3	Fee Review= \$1000.00 \$ Inspection= \$400.00 Total = \$1400.00
Plans Prepared by* Elizabeth M. Waterbury , PE PP CME of E.M. Waterbury & Associates PA		Phone # 732.747.6530 Fax # 732.747.6778	
Street Address 530 Prospect Ave Suite 2C		City Little Silver	State New Jersey Zip 07739
Agent Responsible During Construction Frank Morris		Email fmcinc12@gmail.com	
Street Address 207 Ludlow Avenue.			
City Spring Lake, State New Jersey Zip 07762-07		Phone 908.309.4325 Fax #	

The applicant hereby certifies that all soil erosion and sediment control measures are designed in accordance with current **Standards for Soil Erosion and Sediment Control In New Jersey** and will be installed in accordance with those Standards and the plan as approved by the Soil Conservation District and agrees as follows:

- To notify the District in writing at least 48 hours in advance of any land disturbance activity. Failure to provide such notification may result in additional inspection fees.
- To notify the District upon completion of the Project (Note: No certificate of occupancy can be granted until a report of compliance is issued by the District.
- To maintain a copy of the certified plan on the project site during construction.
- To allow District agents to go upon project lands for inspection.
- That any conveyance of this project or portion thereof prior to its completion will transfer full responsibility for compliance with the certified plan to any subsequent owners.
- To comply with all terms and conditions of this application and certified plan including payment of all fees prescribed by the district fee schedule hereby incorporated by reference.

The applicant hereby acknowledges that structural measures contained in the Soil Erosion and Sediment Control Plan are reviewed for adequacy to reduce offsite soil erosion and sedimentation and not for adequacy of structural design. The applicant shall retain full responsibility for any damages which may result from any construction activity notwithstanding district certification of the subject soil erosion and sediment control plan. It is understood that approval of the plan submitted with this application shall be valid only for the duration of the initial project approval granted by the municipality. All municipal renewals of this project will require submission and approval by the district. In no case shall the approval extend beyond three and one half years at which time resubmission and certification will be required. Soil Erosion and Sediment Control Plan certification is limited to the controls specified in the plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency. It is further understood that all documents, site plans, design reports etc. submitted to the district shall be made available to the public (upon request) pursuant to the Open Public Records Act, N.J.S.A. 47:1A-1 et seq.

1. Applicant Certification* X Signature  Applicant Name (Print) Frank Morris Date 12/21/08	3. Plan determined complete: Signature of District Official _____ Date _____
2. Receipt of fee, plan and supporting documents is hereby acknowledged: Signature of District Official _____ Date _____	4. Plan certified, denied or other actions noted above. Special Remarks: Signature of District Official _____ Date _____

*If other than project owner, written authorization of owner must be attached.

SOIL CONSERVATION DISTRICT
ADDENDUM TO APPLICATION

APPLICATION BY CORPORATION, PARTNERSHIP OR ORGANIZATION

OWNERSHIP DISCLOSURE AFFIDAVIT

Soil Conservation District requests that all applicants submit a complete list of ownership for purposes of determining conflicts of interest between the applicant and the board of members or their professionals. Attach Rider if necessary.

Disclosure of owners of organization and property subject to application. Any organization making an application for development under this act shall list the names and addresses of all members, stockholders, or individual partners (collectively, "interest holders"), including any other organization holding at least a 10% ownership interest in the organization, and shall also identify the owner of the property subject to the application, including any organization holding at least a 10% ownership interest in the property.

Listing of names and addresses of interest holders of applicant and owner organization.

If an organization owns an interest equivalent to 10% or more of another organization, subject to the disclosure requirements hereinabove described, that organization shall list the names and addresses of its interest holders holding 10% or greater interest in the organization.

Disclosure of all officers and trustees of a non-profit organization. A non -profit organization filing an application of development under this act shall list the names and addresses of all officers and trustees of the non-profit organization.

This disclosure requirement is continuing during the Certification period and transfer of ownership of more than 10% must be disclosed.

Organization or non-profit organization failing to disclose: fine. Any organization or non-profit organization failing to disclose in accordance with this act shall be subject to a fine of \$1,000 to \$10,000, which shall be recoverable in the name of the municipality in any court of record in the State in a summary manner pursuant to the "Penalty Enforcement Law" (N.J.S.A. 2A:58-1 et seq.)

Name and Address of Owner:

North Potter Partners LLC

207 Ludlow Avenue, Spring Lake, NJ 07762-0776

(If Corporation, Name and Address of Registered Agent and Officers, Trustees):

Stockholders / Members / Partners:

Gary Ciliberto

Frank Morris

Jennifer Naughten

I certify that the above statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

Date: 10/24/22

Gary Ciliberto
Print Name of Authorized Signatory & Title

Gary Ciliberto

Authorized Signature

Gary Ciliberto
Partner



B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

JAN 30 2023

DPW _____ CONST _____
PD _____ OTHER _____

January 27, 2023

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R2020
Variance – Hannafey
Block 16, Lot 5.02
10 Minnesink Road
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Pool Grading Plan prepared by Michael Cannon, PE, PLS, of the Cannon Group, P.C., dated June 10, 2022, last revised December 6, 2022.

The property is located in the R-2 Residential Zone with frontage on Minnesink Road. With this application, the applicant proposes to construct a new 14' by 22' in-ground pool, paver patio, and 6' by 18' porch in the rear yard and associated site improvements. The application is deemed complete on January 27, 2023.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Residential Zone, where the existing and proposed residential use is permitted.
2. The following variances are required as part of this application:
 - a. A maximum lot coverage of 45% permitted, whereas a lot coverage of 47.1% is proposed.
 - b. A minimum rear yard pool setback of 10 feet is required, whereas a setback of 7 feet is proposed.
 - c. A minimum side yard pool setback of 10 feet is required, whereas a setback of 7 feet is proposed.
 - d. A minimum patio setback of 5 feet is required, whereas a setback of approximately 2 feet is proposed (east side) and 3 feet (rear).



Re: Boro File No. MSPB-R2020
Variance – Hannafey
Block 16, Lot 5.02

January 27, 2023
Sheet 2

3. The following non-conformities exist on Lot 5.02 and will not be modified as part of this application:
 - a. A maximum building coverage of 30% permitted, whereas a building coverage of 30.4% exists.
4. The applicant's engineer has provided soil boring information and test pit locations which demonstrate that a 1.5 feet separation from the seasonal high water table is provided. The proposed bottom of the 5.5 feet deep pool is at elevation 15.5 where the seasonal high water table is below elevation 14.0.
5. The pool mechanical equipment will be located in the rear yard behind the building envelope.
6. The proposed grading of the lot does not appear that it will alter the existing drainage patterns, however the applicant's engineer should confirm this and indicate there will be no negative effects to neighboring properties.
7. It does not appear that any existing trees on the property will be removed as part of the application.
8. Any curb and sidewalk must be replaced along Minnesink Road as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Albert Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Michael Cannon, PE, PLS
1466 Route 88, Suite B2, Brick, NJ 08724
Eugene Hannafey
10 Minnesink Road, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: Eugene and Valerie Hannafey

*Applicant's Address: 10 Minnesink Road

*Telephone Number: Home: N/A Cell: 732 887-7797

*e-mail Address: VALERIEHANNAFEY@GMAIL.COM

*Property Location: 10 MINNESINK Rd.

*Block: 10 Lot: 5.02

*Type of Application:
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major- Site Plan Approval

*Date of Zoning Officer's Denial Letter: Aug. 8, 2022 and Sept. 14, 2022
Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? YES

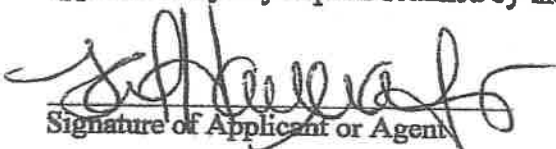
*Does the Applicant own any adjoining land? NO

*Are the property taxes paid to date? YES

*Have there been any previous applications to the Planning Board concerning this property? No
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this property? No
(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.


Signature of Applicant or Agent

1-10-23
Date

06/2021

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0540
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

January 24, 2023

Eugene Hannafey
10 Minnesink Road
Manasquan, NJ 08736

Re: Block: 16 Lot: 5.02 Zone: R-2

Dear Sir:

On this date we reviewed your revised application for the following project.

Remove the patio in the rear yard and install a 14' x 22' inground pool and a paver patio in the rear yard.

Revised plot, grading plan and soil boring prepared by Michael Cannon on December 6, 2022. Pool plans prepared by Michael Cannon on July 14, 2022.

Application denied for the following reason(s):

Section 35-9.4 – Building Coverage – 30% Permitted
30.4% Existing

“ - Lot Coverage - 45% Permitted
47.1 % Proposed

Section 35-11.6 – Swimming Pool - Rear Setback – 10ft. Required
7ft. Proposed

“ “ - Side Setback (Left) – 10ft. Required
7ft. Proposed

Section 35-11.8j – Requires that the proposed patio must be setback a minimum of 5ft. from the side and rear property lines.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large initial "R" and a long, sweeping underline.

Richard Furey
Zoning/Code Enforcement Officer

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

September 14, 2022

Eugene Hannafey
10 Minnesink Road
Manasquan, NJ 08736

Re: Block: 16 Lot: 5.02 Zone: R-2

Dear Sir:

On this date we reviewed your revised application for the following project.

Remove the patio in the rear yard and install a 14' x 22' inground pool in the rear yard.

Revised plot, grading plan and soil boring prepared by Michael Cannon on August 19, 2022. Pool plans prepared by Michael Cannon on July 14, 2022.

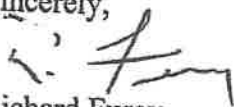
Application denied for the following reason(s):

Section 35-9.4 – Building Coverage – 30% Permitted
30.4% Existing

“ - Lot Coverage - 45% Permitted
47.1 % Proposed

if you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

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NEW JERSEY 08736

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FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

August 8, 2022

Eugene Hannafey
10 Minnesink Road
Manasquan, NJ 08736

Re: Block: 16 Lot: 5.02 Zone: R-2

Dear Sir:

On this date we reviewed your application for the following project.

Install a 14' x 22' inground pool and concrete patio in the rear yard.

Plot grading plan prepared by Michael Cannon on June 10, 2022. Pool plans prepared by Michael Cannon on July 14, 2022.

Application denied for the following reason(s):

Section 35-9.4 – Building Coverage – 30% Permitted
30.7% Existing

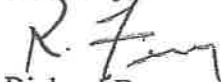
“ - Lot Coverage - 45% Permitted
58.4% Proposed

Additional required documentation:

- Section 28-1.3 requires a soil boring to determine the seasonal high ground water level.

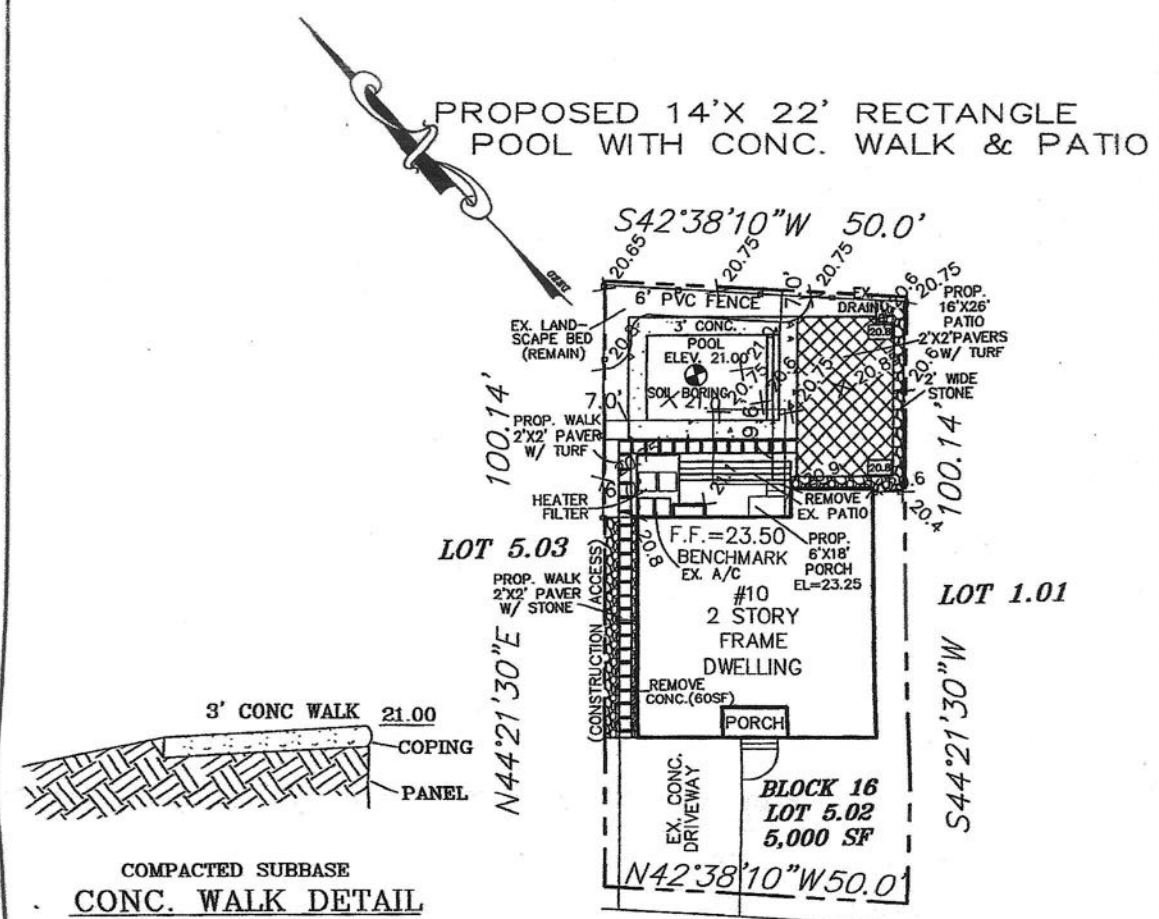
If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

PROPOSED 14'X 22' RECTANGLE
POOL WITH CONC. WALK & PATIO



MINNESINK ROAD
(50' ROW)

COVERAGE TABLE

HOUSE	1520 SF	30.4%
DRIVEWAY & WALK	603 SF	12.1%
POOL SURFACE	308 SF	6.1%
POOL CONC.	252 SF	5.0%
PAVER WALK	132 SF	2.6%
PAVER PATIO	416 SF	8.4%

SOIL LOG BY MICHAEL T. CANNON PE 8/19/22
 0"-12" BROWN LOAMY SAND (TOPSOIL) EL 21.0
 12"-48" BROWN SILTY SAND W/ GRAVEL
 48"-84" BROWN MED SAND
 NO WATER ENCOUNTERED, NO MOTTLES
 SHWT BELOW EL. 14.0
 BOTTOM OF GUNITE SHELL EL 15.5 MIN

NOTES:
 PROPERTY OF HANNAFEY KNOWN AS
 BLOCK 16 LOT 5.02 AS SHOWN ON THE TAX MAP
 FOR THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NJ
 MAP REFERENCE: SURVEY BY OTHERS
 TOPOGRAPHY BY THE CANNON GROUP, PC
 BM ELEVATION OF 10.0 FINISHED FLOOR (ASSUMED)
 TEMPORARY ACCESS ALONG THE EAST SIDE OF THE HOUSE
 PROPOSED CONC. WALKWAY AND PATIO AS SHOWN
 BACKWASH DISCHARGE TOWARDS STREET via. 50' FLEXIBLE
 DISCHARGE HOSE.
 PROPERTY IN FLOOD ZONE X, NO FLOOD
 THERE ARE NO WETLANDS OR BUFFERS ONSITE
 EASEMENTS AS SHOWN
 NO TREES ARE TO BE REMOVED
 ANY DAMAGE TO THE STREET OR WITHIN THE R.O.W. SHALL BE
 THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE
 REPAIRED WITHIN THE FIRST 30 DAYS AFTER THE COMPLETION
 OF THE INGROUND POOL, AS PER BOROUGH STANDARDS USING
 4500psi CONC.

POOL GRADING PLAN		REVISION	
LOT 5.02 BLOCK 16		8/19/22 SOIL	
BOROUGH OF MANASQUAN		12/6/22 COVER	
MONMOUTH COUNTY, NEW JERSEY			
THE CANNON GROUP, P.C			
1466 ROUTE 88 W. SUITE B2 BRICK, NEW JERSEY, 08724 PHONE (732) 458-0003 FAX (732) 458-1103		CHKD MTC	
MICHAEL T. CANNON		DRN BY MTC	
<i>Michael T. Cannon</i>		DATE 6/10/22	
PROF. ENGINEER & LAND SURVEYOR N.J. LIC. #34691		SCALE 1"=20'	
		JOB # 22063	
		DWG #REV2POOL	
		SHEET 1 OF 1	